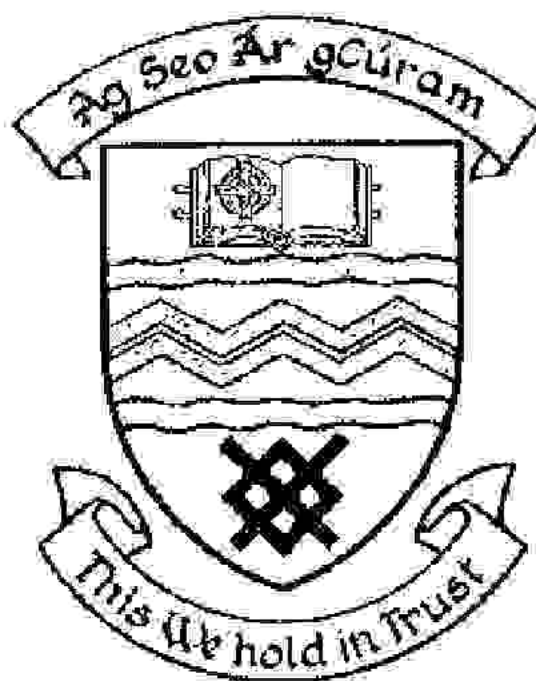


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 & Planning Regs Thereunder Planning Register (Part 1)	Plan Register No. S01A/0674	
1. Location	Units No. 35, 36, 37 & 38 Airtan Terrace, Tallaght, Dub 24.		
2. Development	Retention of change of use from light industrial units to light commercial vehicle and motors sales and associated works shops to existing units.		
3. Date of Application	05/10/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 03/12/2001 2.	1. 03/01/2002 2.
4. Submitted by	Name: Mr Austin Broderick, Address: c/o John Doyle and Associates, 250 Harolds Cross Road,		
5. Applicant	Name: Remark Consultants Ltd., Address: Greenhills Road, Tallaght, Dublin 24.		
6. Decision	O.C.M. No. 0484 Date 28/02/2002	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 0765 Date 12/04/2002	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal
14. Registrar	Date	Receipt No.	

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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Tamblacht, Baile Átha Cliath 24.

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E-Mail: planning.dept@sducoco.ie

Mr Austin Broderick,
c/o John Doyle and Associates,
250 Harolds Cross Road,
Dublin 6W.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Final Grant Order Number 0765	Date of Final Grant 12/04/2002
Decision Order Number 0484	Date of Decision 28/02/2002
Register Reference S01A/0674	Date 03/01/02

Applicant Remark Consultants Ltd.,

Development Retention of change of use from light industrial units to
light commercial vehicle and motors sales and associated
works shops to existing units.

Location Units No. 35, 36, 37 & 38 Airtown Terrace, Tallaght, Dub 24.

Floor Area 2082.00 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 03/12/2001 /03/01/2002

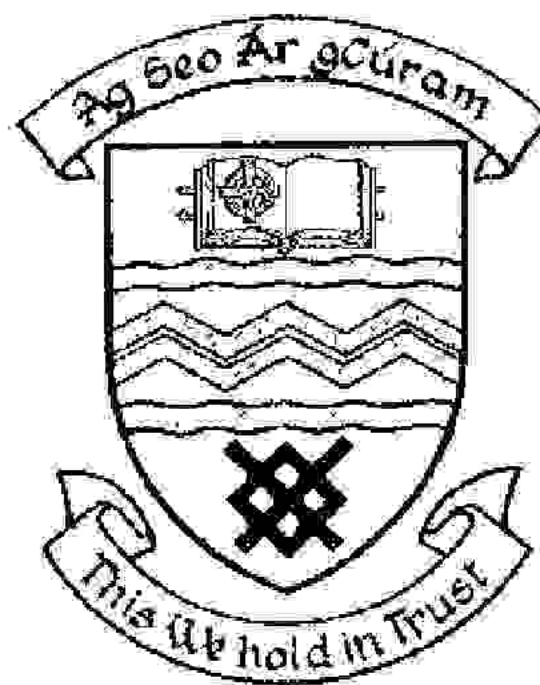
A Permission has been granted for the development described above,
subject to the following (7) Conditions.

SOUTH DUBLIN COUNTY COUNCIL

REG REF. S01A/0674 CHONTAE ÁTHA CLIATH THEAS

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 03/01/02, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

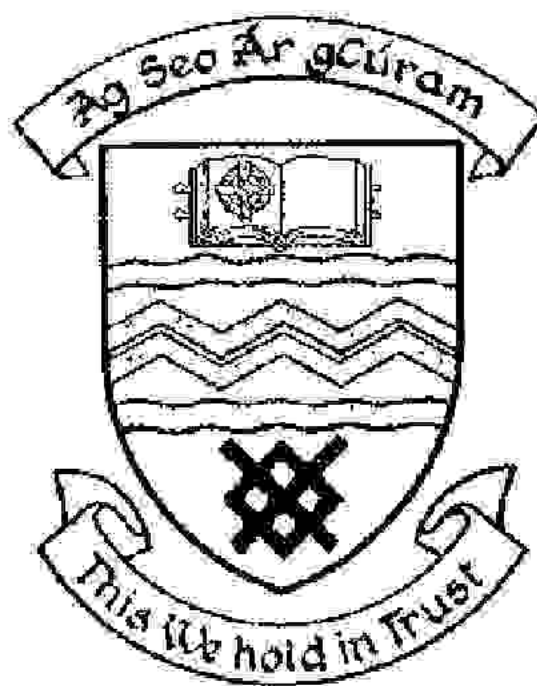
- 2 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. In that respect:
 - i) No discharge of trade effluent to sewer, including that from the carwash, shall be permitted without the applicant first obtaining from the Environmental Services Department, a licence under section 16 of the Water Pollution Acts 1977-1990.
 - ii) All runoff from car wash and petrol pump areas to be routed to foul sewer via an adequate silt trap and petrol / oil / diesel interceptor. Petrol / oil / diesel interceptor to meet the requirements of BS 8301:1985.
 - iii) Applicant to ensure full and complete separation of foul and surface water systems.
 - iv) Prior to the commencement of development the applicant shall submit for approval a revised surface water drainage layout for the site. The layout shall clearly show the location of all proposed drains, sewers, AJs and manholes within the site. This shall be in compliance with Part H of the 1997 Building Regulations.
 - v) All surface water runoff from vehicle parking / marshalling areas shall be routed via a petrol/oil/diesel interceptor before discharging to the surface water sewer.
 - vi) Full 24 water storage shall be provided for the development.
 - vii) The water supply to the centre shall be commercially metered to the satisfaction of the Waster Management Section of South Dublin County Council.
 - viii) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

SOUTH DUBLIN COUNTY COUNCIL

REG. REF. S01A/C67A/COM/MAIRLE CHONTAE ÁTHA CLIATH THEAS



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- 3 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.

REASON:

In the interest of the proper planning and development of the area.

- 4 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

REASON:

In the interest of safety and the avoidance of fire hazard.

- 5 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.

REASON:

In the interest of health.

- 6 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

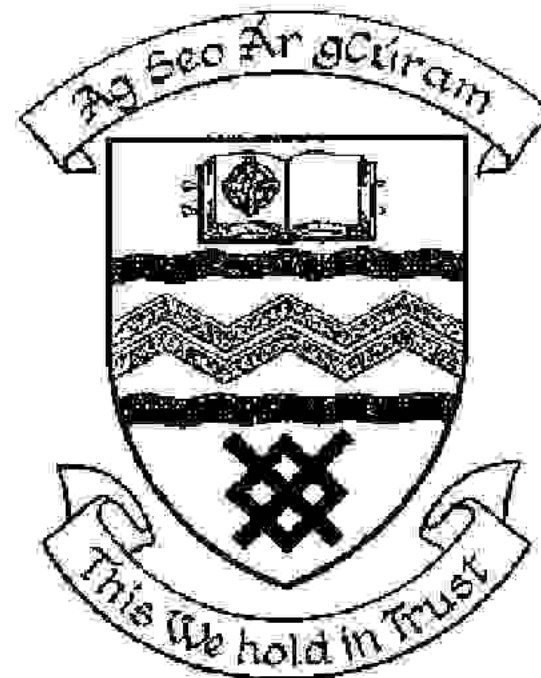
.....15/04/02
for SENIOR ADMINISTRATIVE OFFICER

C

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 0484	Date of Decision 28/02/2002
Register Reference S01A/0674	Date: 05/10/01

Applicant Remark Consultants Ltd.,

Development Retention of change of use from light industrial units to light commercial vehicle and motors sales and associated works shops to existing units.

Location Units No. 35, 36, 37 & 38 Airton Terrace, Tallaght, D.24

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 03/12/2001 /03/01/2002

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (16) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

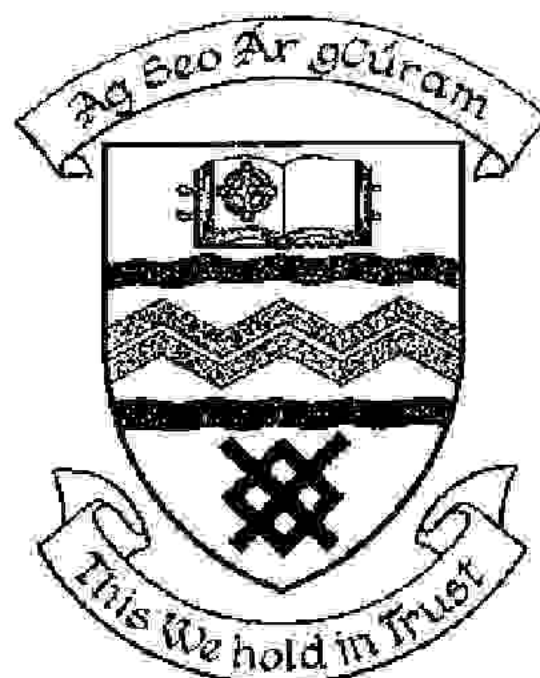
ML
..... 01/03/02
for SENIOR ADMINISTRATIVE OFFICER

Mr Austin Broderick,
c/o John Doyle and Associates,
250 Harolds Cross Road,
Dublin 6W.

**SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

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REG REF. S01A/0674

Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 03/01/02, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

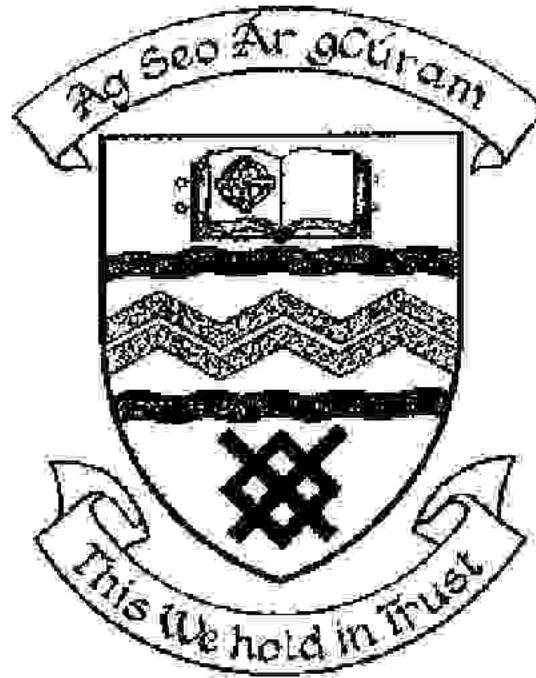
2 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. In that respect:

- i) No discharge of trade effluent to sewer, including that from the carwash, shall be permitted without the applicant first obtaining from the Environmental Services Department, a licence under section 16 of the Water Pollution Acts 1977-1990.
- ii) All runoff from car wash and petrol pump areas to be routed to foul sewer via an adequate silt trap and petrol / oil / diesel interceptor. Petrol / oil / diesel interceptor to meet the requirements of BS 8301:1985.
- iii) Applicant to ensure full and complete separation of foul and surface water systems.
- iv) Prior to the commencement of development the applicant shall submit for approval a revised surface water drainage layout for the site. The layout shall clearly show the location of all proposed drains, sewers, AJs and manholes within the site. This shall be in compliance with Part H of the 1997 Building Regulations.
- v) All surface water runoff from vehicle parking / marshalling areas shall be routed via a petrol/oil/ diesel interceptor before discharging to the surface water sewer.
- vi) Full 24 water storage shall be provided for the development.
- vii) The water supply to the centre shall be commercially metered to the satisfaction of the Waster Management

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REG. REF. S01A/0674

Section of South Dublin County Council.

- viii) The connection to and tapping of public watermain
shall be carried out by South Dublin County Council
personnel at the applicant's prior expense.

REASON:

In order to comply with the Sanitary Services Acts, 1878-
1964.

- 3 That no advertising sign or structure be erected except
those which are exempted development, without prior approval
of Planning Authority or An Bord Pleanála on appeal.

REASON:

In the interest of the proper planning and development of
the area.

- 4 That prior to commencement of development the requirements
of the Chief Fire Officer be ascertained and strictly
adhered to in the development.

REASON:

In the interest of safety and the avoidance of fire hazard.

- 5 That prior to commencement of development the requirements
of the Principal Environmental Health Officer be ascertained
and strictly adhered to in the development.

REASON:

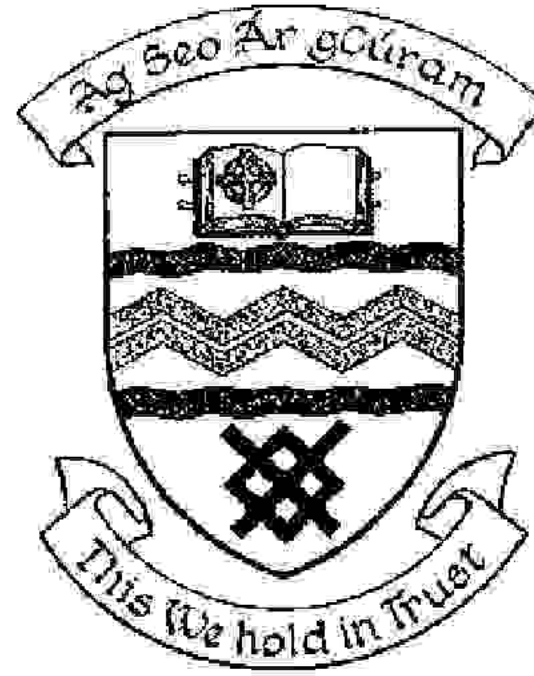
In the interest of health.

- 6 That all necessary measures be taken by the contractor to
prevent the spillage or deposit of clay, rubble or other
debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 3528	Date of Decision 03/12/2001
Register Reference S01A/0674	Date: 05/10/01

Applicant Remark Consultants Ltd.,
Development Retention of change of use from light industrial units to light commercial vehicle and motors sales and associated works shops to existing units.

Location Units No. 35, 36, 37 & 38 Airton Terrace, Tallaght, Dub 24.

App. Type Permission

Dear Sir/Madam,
With reference to your planning application, received on 05/10/01 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1999 and the Planning and Development Act 2000, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

- 1 The applicant is requested to submit a parking layout for the site. It shall clearly indicate and distinguish between the display area, staff and customer parking. It should be noted that no permission appears to existing for the use of the external area adjoining Airton Road for the display of vehicles for sale. A revised site layout relating to the parking areas is required, in addition to revised public notification (newspaper and site notices), making reference to the inclusion of the external areas in the application.
- 2 The applicant is requested to indicate the number of employees (existing and when the development is fully operational) at the site.
- 3 The applicant is requested to indicate their relationship with the applicants in the case of S00A/0611, "Percy Nominees" at units 32-38 Airton Terrace. The applicant

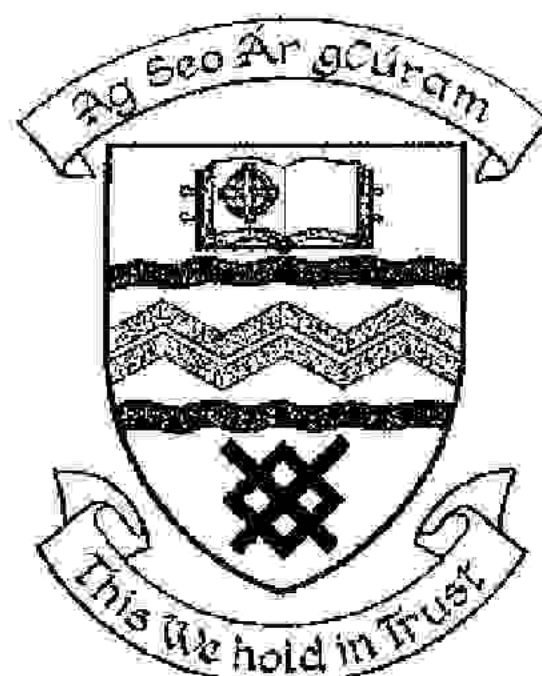
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REG REF. S01A/0674

shall address the relationship of the current proposal with the proposal permitted on appeal under S00A/0611 for, inter alia, office-type development.

- 4 The applicant is requested to indicate when the change of use for which retention is now being sought at the site commenced.

Signed on behalf of South Dublin County Council

.....
for Senior Administrative Officer

03/12/01