

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 & Planning Regs Thereunder Planning Register (Part 1)	Plan Register No.  S01A/0748	
1. Location	rear of Craftmasters Building at Greenhills Ind Est Walkinstown D12		
2. Development	Industrial unit adjoining existing industrial development		
3. Date of Application	12/11/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 10/01/2002 2.	1. 06/02/2002 2.
4. Submitted by	Name: Seamus Ruddy Architect Address: 13 Garville Mews, Rathgar,		
5. Applicant	Name: Keith Sheehan Address: Ashdale Cars, Unit 6 Craftmasters Building, Greenhills Industrial Estate, Walkinstown, D.12		
6. Decision	O.C.M. No. 0677  Date 03/04/2002	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 1019  Date 16/05/2002	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement Compensation Purchase Notice			
12. Revocation or Amendment			
13. E.I.S. Requested E.I.S. Received E.I.S. Appeal			

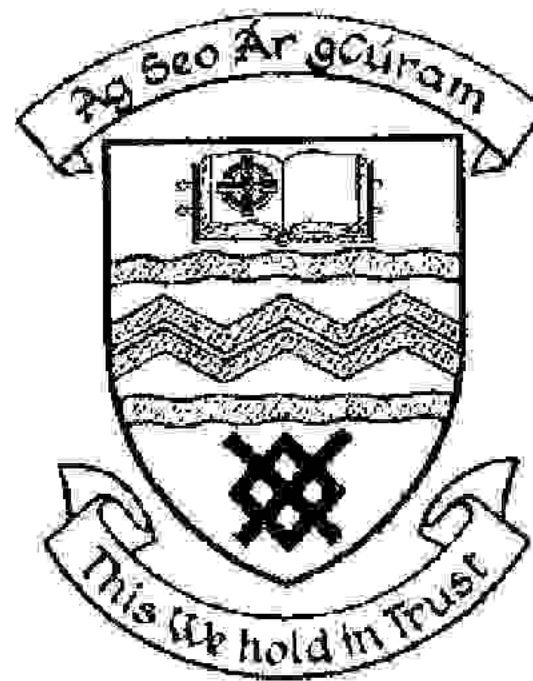
14.

Registrar

Date

Receipt No.

**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**



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Seamus Ruddy Architect  
13 Garville Mews,  
Rathgar,  
Dublin 6.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999  
AND PLANNING AND DEVELOPMENT ACT 2000

Final Grant Order Number 1019	Date of Final Grant 16/05/2002
Decision Order Number 0677	Date of Decision 03/04/2002
Register Reference S01A/0748	Date 06/02/02

Applicant Keith Sheehan

Development Industrial unit adjoining existing industrial  
development

Location rear of Craftmasters Building at Greenhills Ind Est  
Walkinstown D12

Floor Area 93.80 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 10/01/2002 /06/02/2002

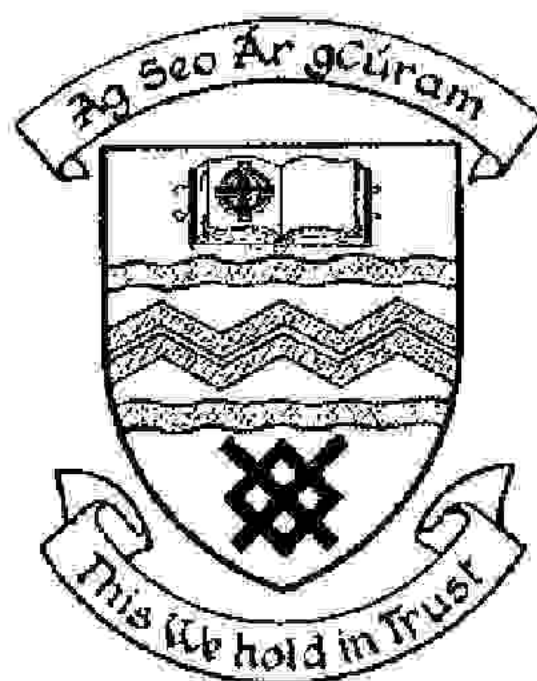
A Permission has been granted for the development described above,  
subject to the following (11) Conditions.

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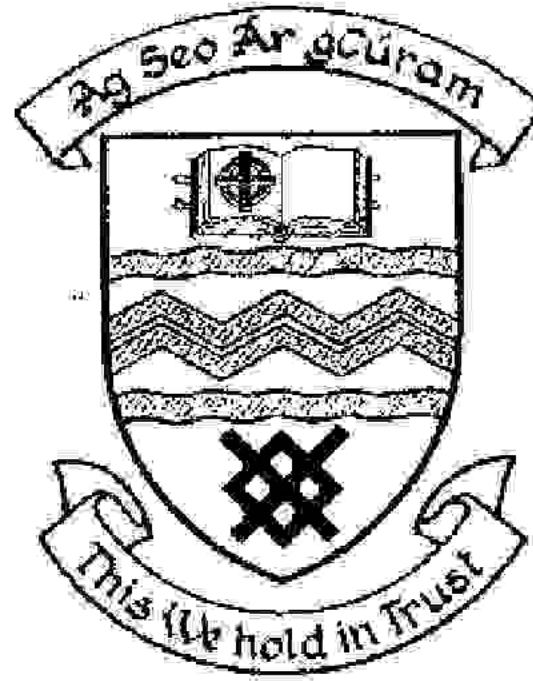
## Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 06/02/02, save as may be required by the other conditions attached hereto.  
REASON:  
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That all external finishes harmonise in colour and texture with the existing premises.  
REASON:  
In the interest of visual amenity.
- 3 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. In particular:
  - No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
  - Applicant to ensure full and complete separation of foul and surface water systems.
  - No discharge of trade effluent to sewer shall be permitted without the applicant first obtaining from the Environmental Services Department, a licence under Section 16 of the Water Pollution Acts 1977 - 1990.
  - All surface water runoff from vehicle parking / marshalling areas shall be routed via a petrol/oil/diesel interceptor before discharging to the surface water sewer.
  - The unit shall have its own commercially metered connection to the public watermain and 24hour storage.
  - The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.REASON:  
In order to comply with the Sanitary Services Acts, 1878-1964
- 4 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.  
REASON:  
To protect the amenities of the area.



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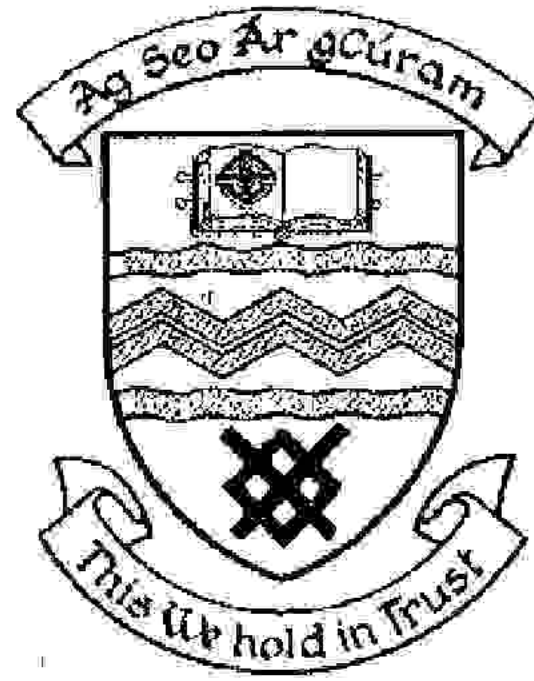
- 5 The main use of the proposed unit shall consist of industrial use and any other use eg. office shall be ancillary to the main industrial use only.  
REASON:  
In the interests of proper planning and development of the area.
- 6 Prior to the commencement of development, the applicants shall submit to and agree with the Parks Department of South Dublin County Council, a detailed Landscaping Plan with full works specification.  
REASON:  
In the interests of visual amenity.
- 7 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.  
REASON:  
In the interest of health.
- 8 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.  
REASON:  
In the interest of safety and the avoidance of fire hazard.
- 9 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.  
REASON:  
In the interest of the proper planning and development of the area.
- 10 That a financial contribution in the sum of EUR 968 (nine hundred and sixty eight euro) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.  
REASON:  
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 11 That a financial contribution in the sum of EUR 2,519 (two thousand five hundred and nineteen euro) shall be paid by

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the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....16/05/02  
for SENIOR ADMINISTRATIVE OFFICER

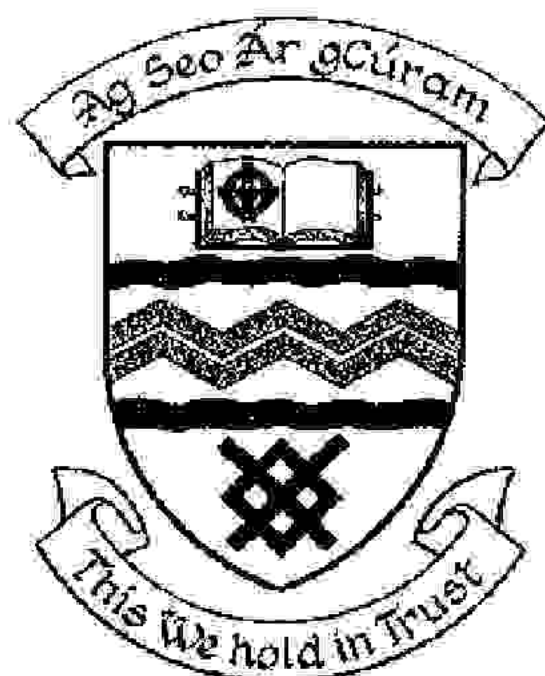


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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999  
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 0042	Date of Decision 10/01/2002
Register Reference S01A/0748	Date: 12/11/01

**Applicant** Keith Sheehan  
**Development** Industrial unit adjoining existing industrial development  
  
**Location** rear of Craftmasters Building at Greenhills Ind Est. Walkinstown D12  
  
**App. Type** Permission

Dear Sir/Madam,

With reference to your planning application, received on 12/11/01 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1999 and the Planning and Development Act 2000, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

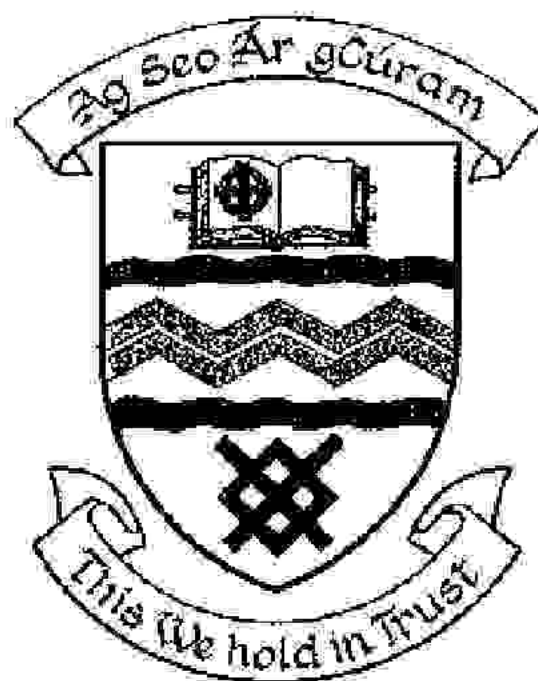
- 1 The applicant is requested to submit foul drainage plans and surface water drainage plans showing the exact location of all drains, manholes, AJs etc. located within the site boundary up to the point of connection with the public sewers. This layout shall be in accordance with the Building Regulations and shall clearly show full and complete separation of foul and surface water systems. The applicant shall note that no building shall be erected within 5 metres of a public sewer, watercourse or any sewer with the potential to be taken in charge.
- 2 The applicant is requested to submit a car parking layout plan (existing and proposed), clearly indicating an additional 3 car parking spaces for the proposed development.

Seamus Ruddy Architect  
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Dublin 6.

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REG REF. S01A/0748

3 The applicant is requested to state the exact use of the  
proposed unit.

Signed on behalf of South Dublin County Council

  
.....  
for Senior Administrative Officer

10/01/02