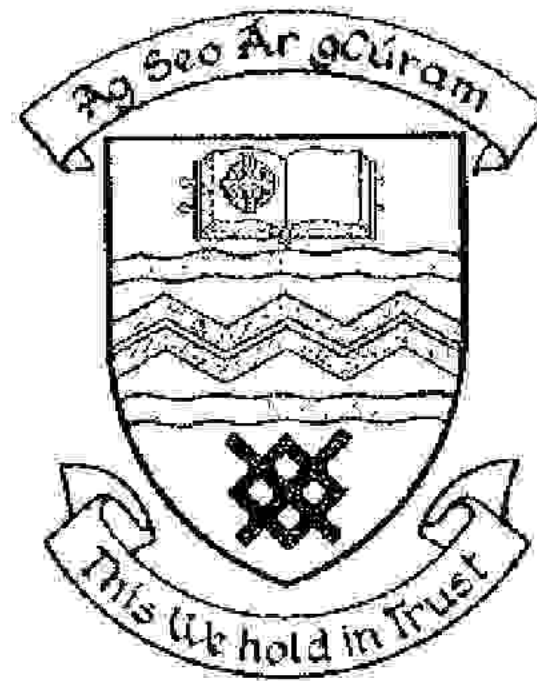


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0751
1. Location	Marley Grange, Grange Road, Rathfarnham	
2. Development	The works shall comprise the following: refurbishment of Marlay Grange House; alterations to the internal layout provision of new heating plumbing and electrical services; provision of new sanitary facilities; removal of part of secondary stairs; replacement of sash windows with similar sections; reinstatement of east elevation by inserting windows in original location reinstatement of appropriate internal joinery where missing. Demolition of interior of service buildings at the north end of the house & replacement with a new kitchen and service block including new lift for disabled access to all levels. New conservatory and glazed link connecting to west facade of house - Refurbishment of gate lodge and stable block for ancillary uses - Erection of three new houses within the demesne on one and two storey's for embassy officials with associated road lighting and sanitary services. Provisions of new connections to public mains outside the site for foul and surface water services - Demolition of modern sheds, one on eastern boundary adjoining Three Rock Rovers grounds and one opposite stable block - Enlargement of Bellmouth at recessed entrance with new gates and railings onto Grange Road. Refurbishment of hard and soft landscaping throughout the demesne. This is a Protected Structure.	
3. Date of Application	14/11/01	Date Further Particulars (a) Requested (b) Received
3a. Type of Application	Permission	1. 2. 1. 2.
4. Submitted by	Name: Kelly & Cogan Architects Address: 81 North King Street Dublin 7	
5. Applicant	Name: Foreign & Commonwealth Office Address: Appollo House, 36 Wellesley Road, Croydon CRO 9YA	
6. Decision	O.C.M. No. 0114 Date 16/01/2002	Effect AP GRANT PERMISSION
7. Grant	O.C.M. No. 0495 Date 01/03/2002	Effect AP GRANT PERMISSION

8.	Appeal Lodged		
9.	Appeal Decision		
10. Material Contravention			
11.	Enforcement	Compensation	Purchase Notice
12. Revocation or Amendment			
13.	E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14. Registrar Date Receipt No.

SOUTH DUBLIN COUNTY COUNCIL
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Kelly & Cogan Architects
81 North King Street
Dublin 7

NOTIFICATION OF GRANT OF Permission

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000**

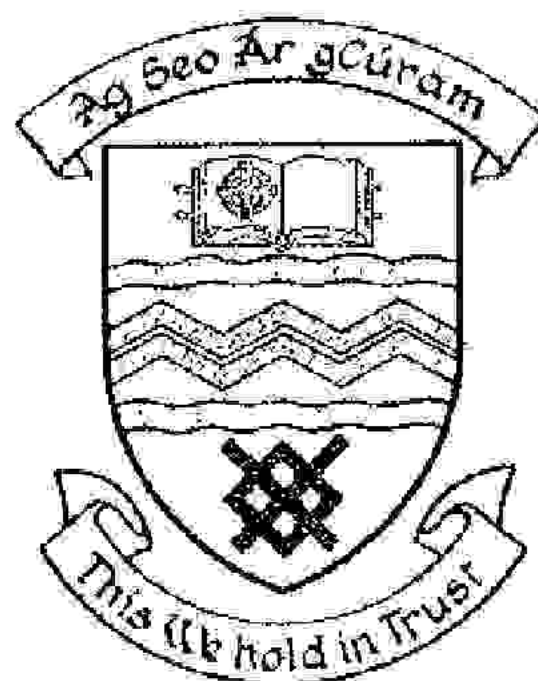
Final Grant Order Number 0495	Date of Final Grant 01/03/2002
Decision Order Number 0114	Date of Decision 16/01/2002
Register Reference S01A/0751	Date 14/11/01

Applicant Foreign & Commonwealth Office

Development The works shall comprise the following: refurbishment of Marlay Grange House; alterations to the internal layout provision of new heating plumbing and electrical services; provision of new sanitary facilities; removal of part of secondary stairs; replacement of sash windows with similar sections; reinstatement of east elevation by inserting windows in original location reinstatement of appropriate internal joinery where missing. Demolition of interior of service buildings at the north end of the house & replacement with a new kitchen and service block including new lift for disabled access to all levels. New conservatory and glazed link connecting to west facade of house - Refurbishment of gate lodge and stable block for ancillary uses - Erection of three new houses within the demesne on one and two storey's for embassy officials with associated road lighting and sanitary services. Provisions of new connections to public mains outside the site for foul and surface water services - Demolition of modern sheds, one on eastern boundary adjoining Three Rock Rovers grounds and one opposite stable block - Enlargement of Bellmouth at recessed entrance with new gates and railings onto Grange Road. Refurbishment of hard and soft landscaping throughout the demesne. This is a Protected Structure.

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REG REF. S014/0750 COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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Location Marley Grange, Grange Road, Rathfarnham

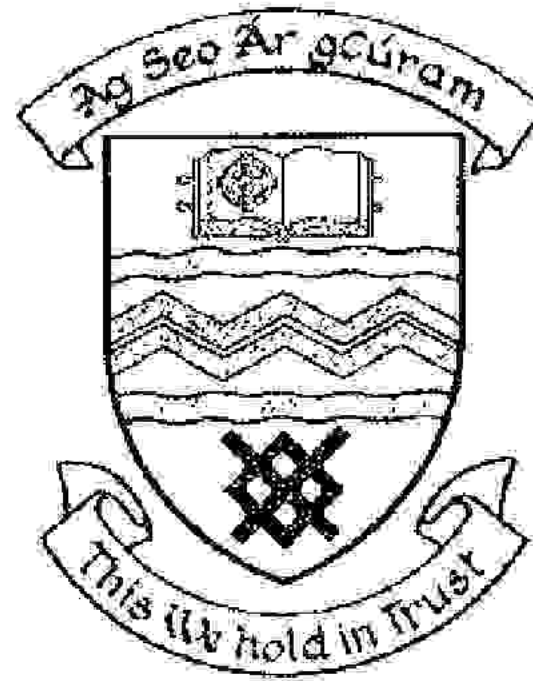
Floor Area 601.00 Sq Metres
Time extension(s) up to and including 18/01/2002
Additional Information Requested/Received /

A Permission has been granted for the development described above,
subject to the following (35) Conditions.

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REG. REF. S01A/0780

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 Details of the colour and materials to be used on external walls and roofs of the proposed houses shall be submitted to the Planning Authority for its written agreement prior to commencement of development.

REASON:

In the interest of visual amenity.

- 3 Increased vision splays shall be provided at the entrance to the site. These lines shall be agreed on site with the Planning Authority and details shall be submitted for written agreement prior to commencement of development.

REASON:

To improve sight visibility in the interest of traffic safety.

- 4
 - (a) The existing large shed to the rear of the gate house shall be retained.
 - (b) The existing roadside boundary wall shall be retained except where required for sight line improvements required under Condition 3 above.

REASON:

In the interest of visual amenity.

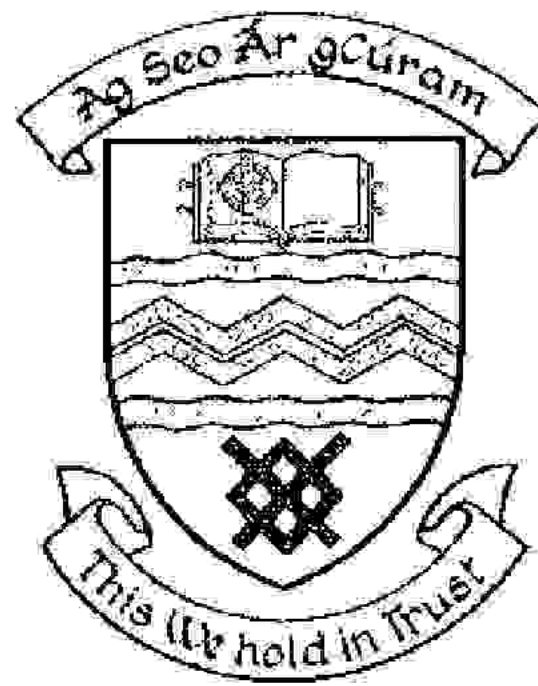
- 5
 - (a) Details including design, materials and location of the proposed new gates, wing walls and piers shall be submitted to the Planning Authority for its written agreement prior to commencement of development.
 - (b) Granite capping and ball finials on the existing piers shall be retained and re-used.
 - (c) Where a section of boundary wall between the outer piers and the end of the sightlines required under condition 3 above is to be set back, the re-aligned section of wall shall be built on the new line using salvaged and/or local stone which matches the existing roadside boundary wall.

REASON:

In the interest of visual amenity.

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- 6 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 7 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON:

In the interest of amenity.

- 8 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

REASON:

In the interest of safety and the avoidance of fire hazard.

- 9 A report prepared by a landscape architect/arboriculturist on the trees and shrubs within the site shall be submitted for the written agreement of the Planning Authority prior to commencement of development. This report shall include proposals for (a) ongoing management of the existing trees on site and (b) any additional planting proposed. No tree felling shall take place (except in cases of danger to the public) unless first identified and explained in the report and consented to by the Planning Authority. The report shall also specify measures for the protection of the existing trees during site development works.

REASON:

In the interest of visual amenity.

- 10 Adequate off street car parking shall be provided on site to cater for the proposed development.

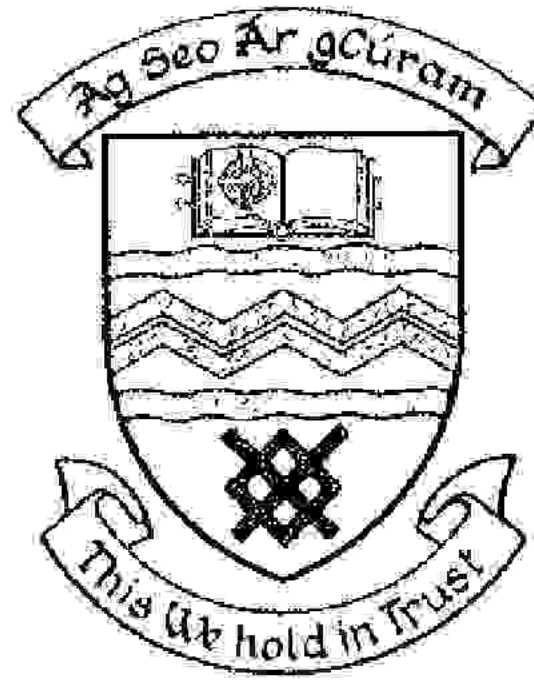
REASON:

In the interest of traffic safety.

- 11 During demolition works on the site, all necessary steps to contain dust arising from the demolition shall be taken so as to prevent a nuisance being carried to occupiers of other buildings in the locality. This shall include covering skips and slack-heaps, daily washing down of pavements or other public areas, use of water spray at demolition site to suppress dust and any other precautions necessary to prevent dust nuisances. During the demolition phase the proposed development shall comply with BS 6187 Code of Practice for

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Demolition. During construction phase of the development, Best Practicable Means shall be employed to minimise air blown dust being emitted from the site. This shall include covering skips and slack-heaps, netting of scaffolding, daily washing down of pavements or other public areas, and any other precautions necessary to prevent dust nuisances. There must be compliance with British Standard B.S. 5228 Noise Control on Construction and Open sites.

REASON:

In the interests of amenity and public health.

- 12 A suitable location for the storage of refuse shall be provided.

REASON:

In the interests of amenity and public health.

- 13 All rooms, passageways, sanitary accommodation and lobbies shall be ventilated to the external air.

REASON:

In the interests of public health and to ensure proper development.

- 14 No heavy construction equipment/machinery (to include pneumatic drills, construction vehicles, generators, etc.) shall be operated on or adjacent to the construction site before 08:00 hours on weekdays and 09:00 hours on Saturdays nor after 18:00 hours on weekdays and 13:00 hours on Saturdays, nor at any time on Sundays Bank Holidays or Public Holidays.

REASON:

In the interests of amenity and public health.

- 15 (a) The foul pumping system shall be designed and configured so that effluent remains in the system for a maximum of 3 hours to avoid the risk of septicity. A minimum of 24 hours overflow storage, or suitable alternative, shall be provided in the event of pump failure. The installation, operation and maintenance of the system, up to the point of connection to the existing public sewer, shall remain the responsibility of the applicant.
- (b) Final details regarding the proposed connection of the proposed foul sewerage to the system outside the site shall be agreed with the Planning Authority prior to the commencement of development. These works shall be carried out and completed to the satisfaction of the Planning Authority at the applicants expense.
- (c) Any Septic Tank/Effluent Treatment System and

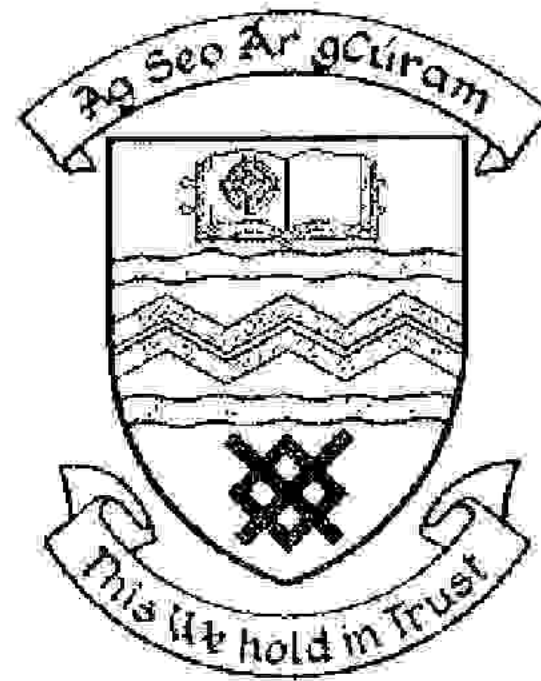
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REG REF. S014/0751 **COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

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percolation/irrigation area shall be in accordance with S.R.6: 1991 and the requirements of the EPA's Wastewater Treatment Manual for Single Houses. Certification standard shall be submitted to South Dublin County Council.

- (d) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
- (e) Applicant to ensure full and complete separation of foul and surface water systems.
- (f) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways and 0.9m in open space. Where it is not possible to achieve these minimum covers pipes shall be bedded and surrounded in C20 concrete 150mm thick.
- (g) The surface water run-off for the proposed development shall drain to soakage areas designed and constructed in accordance with BRE digest 365. Certification of compliance by an Engineer shall be submitted to the Planning Authority.
- (h) Each property shall have its own individual service connection to the new watermain and 24 hour storage.

REASON:

In the interests of public health.

- 16 Details of any perimeter security fencing shall be submitted to the Planning Authority for its written agreement prior to commencement of development.

REASON:

In the interests of amenity and protection of architectural heritage.

- 17 The reinstatement of any internal decorative features shall only be carried out if clear evidence of the original form is available.

REASON:

To ensure proper restoration practice and to safeguard the character of the Protected Structure.

- 18 Cleaning of the external granite stone shall only be carried out using unabrasive methods (e.g. washing with water and biodegradable detergent).

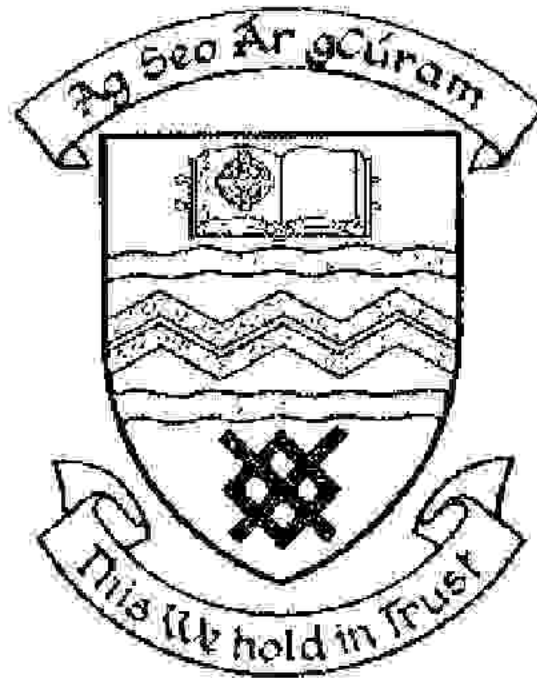
REASON:

To safeguard the existing character of the Protected Structure.

- 19 New stonework shall match the existing and the mortar used shall be a lime based mortar to match the existing.

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REG. REF. 5014/0754 **COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**



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REASON:

To ensure proper repair and use of materials.

- 20 The profile and material of the replacement sash windows shall match the existing and shall be agreed with the Planning Authority prior to commencement of development.

REASON:

To ensure the proper use of materials and design consistency throughout Marlay Grange House.

- 21 The paint colour for all external joinery shall match the existing.

REASON:

To safeguard the existing character of the Protected Structure.

- 22 The roofing materials on Marley Grange house shall only be replaced if necessary and all materials shall match existing. Replacement rainwater goods shall also match the existing in profile and material.

REASON:

To safeguard the existing character of the Protected Structure.

- 23 The external walls of the service lift and stairs shall be rendered and painted. Details of the paint colour and finish for this area shall be submitted for the written agreement of the Planning Authority prior to the commencement of development. The proposed finish shall match the existing if possible.

REASON:

To safeguard the existing character of the Protected Structure.

- 24 Original cornices, plasterwork, joinery and fireplaces shall be retained and any necessary repair work shall only be carried out using the appropriate materials to match the existing.

REASON:

To ensure proper repair and use of materials.

- 25 During all of the proposed works the developer shall be mindful of the protected status of Marlay Grange House and shall ensure the protection of the House during these works. The applicant shall submit proposals for the written agreement of the Planning Authority in relation to the protection of features in the house during the construction phase prior to the commencement of development.

REASON:

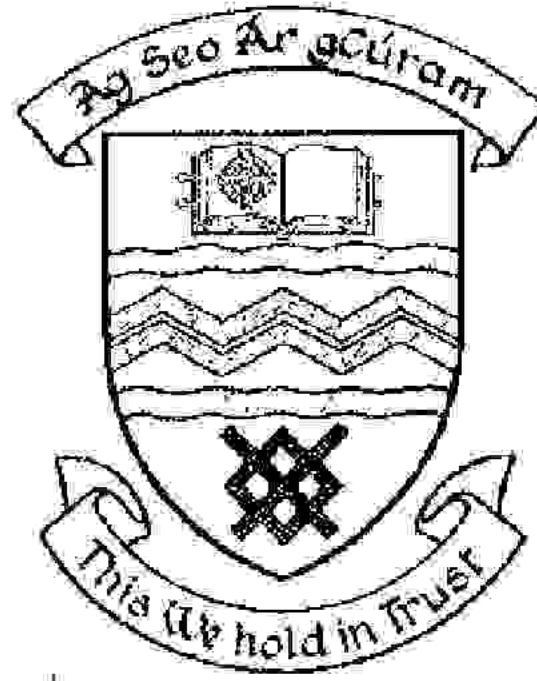
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REG REF. S01A/0757 **COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

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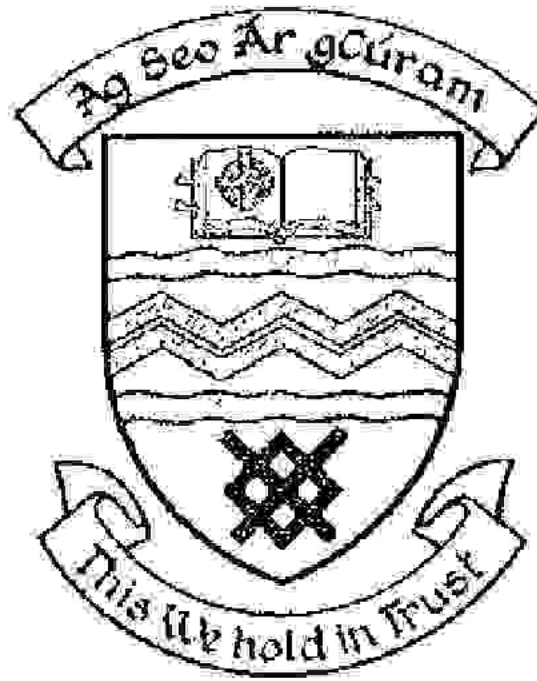
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To safeguard the existing character of the Protected Structure.

- 26 Chemical dpc in the walls of the Gate Lodge shall not be used. Details of an alternative treatment shall be submitted to the Planning Authority for its written agreement prior to the commencement of development.
REASON:
To ensure proper repair and use of materials and as chemical treatment is considered unacceptable.
- 27 Prior to commencement of development details and specification of access ramps shall be submitted to the Planning Authority for its written agreement.
REASON:
To safeguard the character of the Protected Structure.
- 28 The applicant shall submit details justifying the demolition of the courtyard buildings of the northern end of the house, the chimney stack in the house and the removal of the balustrades to the main staircase.
REASON:
To ensure full details are submitted of the proposed works.
- 29 The existing windows on the ground floor of the gate lodge shall be repaired and retained if possible.
REASON:
In the interest of amenity.
- 30 That a financial contribution in the sum of EUR 2,857 (two thousand eight hundred and fifty seven euro) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.
REASON:
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 31 That a financial contribution in the sum of EUR 7,999 (seven thousand nine hundred and ninety nine euro) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

SOUTH DUBLIN COUNTY COUNCIL

REG. REF. S014/0757 CHAIRLE CHONTAE ÁTHA CLIATH THEAS



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REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 32 That a financial contribution in the sum of EUR 2,857 (two thousand eight hundred and fifty seven euro) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 33 That a financial contribution in the sum of EUR 2,571 (two thousand five hundred and seventy one euro) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 34 That a financial contribution in the sum of EUR 4,354 (four thousand three hundred and fifty four euro) be paid by the proposer to South Dublin County Council towards the cost of the Dodder Valley Catchment Drainage Improvement Works which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 35 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, kerbs, grass margin and footpath fronting the site has been given by lodgement with the Council of an approved Insurance Company Bond in the sum of EUR 5,714 (five thousand seven hundred and

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fourteen euro) or lodgement with the Council of a cash sum of EUR 3,809 (three thousand eight hundred and nine euro).

REASON:

To ensure that a ready sanction may be available to induce the provision of services and prevent disamenity in the development.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

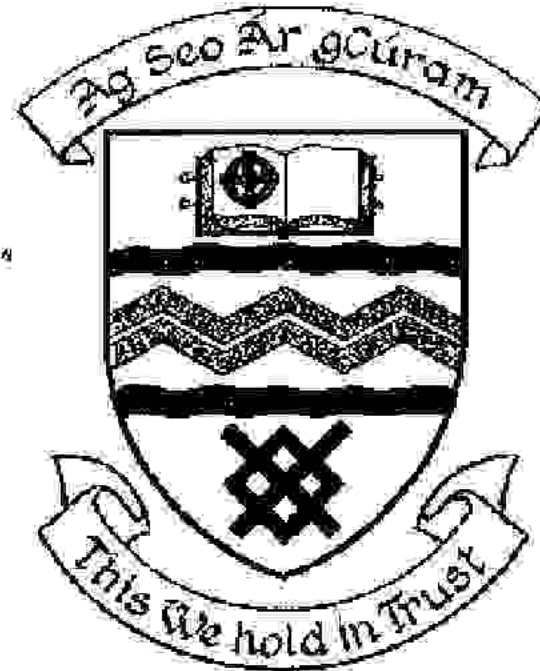
.....*JH*.....01/03/02
for SENIOR ADMINISTRATIVE OFFICER

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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 0114	Date of Decision 16/01/2002
Register Reference S01A/0751	Date: 14/11/01

Applicant Foreign & Commonwealth Office

Development The works shall comprise the following: refurbishment of Marlay Grange House; alterations to the internal layout; provision of new heating plumbing and electrical services; provision of new sanitary facilities; removal of part of secondary stairs; replacement of sash windows with similar sections; reinstatement of east elevation by inserting windows in original location; reinstatement of appropriate internal joinery where missing. Demolition of interior of service buildings at the north end of the house & replacement with a new kitchen and service block including new lift for disabled access to all levels. New conservatory and glazed link connecting to west facade of house - Refurbishment of gate lodge and stable block for ancillary uses - Erection of three new houses within the demesne on one and two storey's for embassy officials with associated road lighting and sanitary services. Provisions of new connections to public mains outside the site for foul and surface water services - Demolition of modern sheds, one on eastern boundary adjoining Three Rock Rovers grounds and one opposite stable block - Enlargement of Bellmouth at recessed entrance with new gates and railings onto Grange Road. Refurbishment of hard and soft landscaping throughout the demesne. This is a Protected Structure.

Location Marley Grange, Grange Road, Rathfarnham

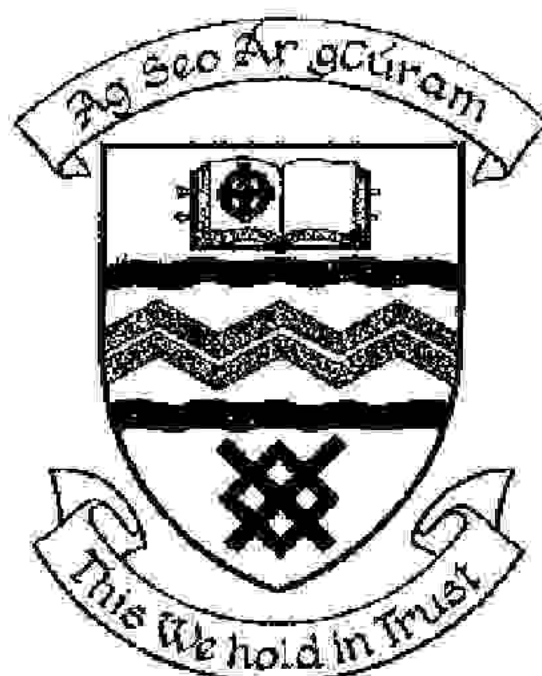
Floor Area Sq Metres

Kelly & Cogan Architects
81 North King Street
Dublin 7

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REG REF. S01A/0751

Time extension(s) up to and including 18/01/2002

Additional Information Requested/Received /

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (35) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.


..... 16/01/02
for SENIOR ADMINISTRATIVE OFFICER

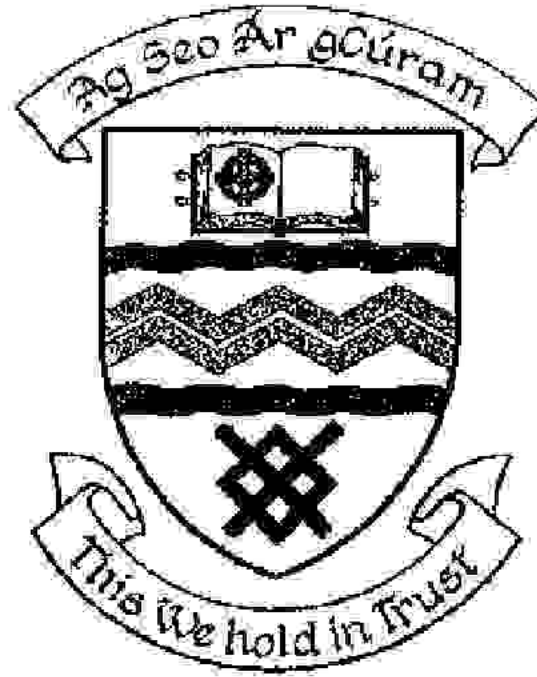
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 Details of the colour and materials to be used on external walls and roofs of the proposed houses shall be submitted to the Planning Authority for its written agreement prior to

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REG. REF. S01A/0751

commencement of development.

REASON:

In the interest of visual amenity.

- 3 Increased vision splays shall be provided at the entrance to the site. These lines shall be agreed on site with the Planning Authority and details shall be submitted for written agreement prior to commencement of development.

REASON:

To improve sight visibility in the interest of traffic safety.

- 4 (a) The existing large shed to the rear of the gate house shall be retained.
(b) The existing roadside boundary wall shall be retained except where required for sight line improvements required under Condition 3 above.

REASON:

In the interest of visual amenity.

- 5 (a) Details including design, materials and location of the proposed new gates, wing walls and piers shall be submitted to the Planning Authority for its written agreement prior to commencement of development.
(b) Granite capping and ball finials on the existing piers shall be retained and re-used.
(c) Where a section of boundary wall between the outer piers and the end of the sightlines required under condition 3 above is to be set back, the re-aligned section of wall shall be built on the new line using salvaged and/or local stone which matches the existing roadside boundary wall.

REASON:

In the interest of visual amenity.

- 6 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

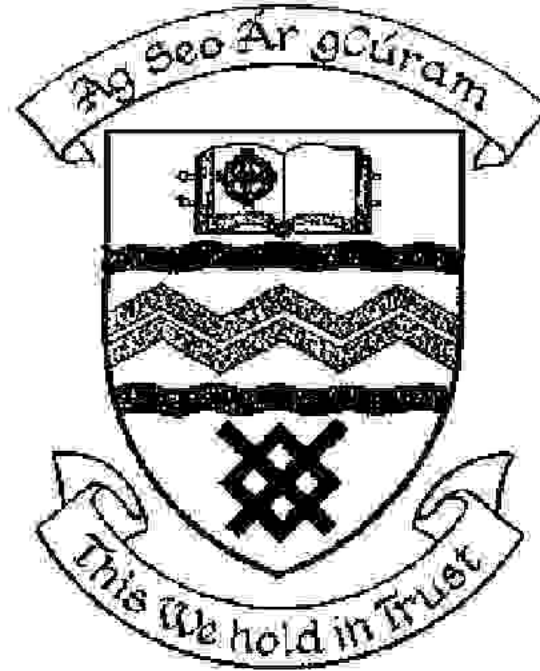
REASON:

To protect the amenities of the area.

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- 7 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
REASON:
In the interest of amenity.
- 8 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.
REASON:
In the interest of safety and the avoidance of fire hazard.
- 9 A report prepared by a landscape architect/arboriculturist on the trees and shrubs within the site shall be submitted for the written agreement of the Planning Authority prior to commencement of development. This report shall include proposals for (a) ongoing management of the existing trees on site and (b) any additional planting proposed. No tree felling shall take place (except in cases of danger to the public) unless first identified and explained in the report and consented to by the Planning Authority. The report shall also specify measures for the protection of the existing trees during site development works.
REASON:
In the interest of visual amenity.
- 10 Adequate off street car parking shall be provided on site to cater for the proposed development.
REASON:
In the interest of traffic safety.
- 11 During demolition works on the site, all necessary steps to contain dust arising from the demolition shall be taken so as to prevent a nuisance being carried to occupiers of other buildings in the locality. This shall include covering skips and slack-heaps, daily washing down of pavements or other public areas, use of water spray at demolition site to suppress dust and any other precautions necessary to prevent dust nuisances. During the demolition phase the proposed development shall comply with BS 6187 Code of Practice for Demolition. During construction phase of the development,

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Best Practicable Means shall be employed to minimise air blown dust being emitted from the site. This shall include covering skips and slack-heaps, netting of scaffolding, daily washing down of pavements or other public areas, and any other precautions necessary to prevent dust nuisances. There must be compliance with British Standard B.S. 5228 Noise Control on Construction and Open sites.

REASON:

In the interests of amenity and public health.

- 12 A suitable location for the storage of refuse shall be provided.

REASON:

In the interests of amenity and public health.

- 13 All rooms, passageways, sanitary accommodation and lobbies shall be ventilated to the external air.

REASON:

In the interests of public health and to ensure proper development.

- 14 No heavy construction equipment/machinery (to include pneumatic drills, construction vehicles, generators, etc.) shall be operated on or adjacent to the construction site before 08:00 hours on weekdays and 09:00 hours on Saturdays nor after 18:00 hours on weekdays and 13:00 hours on Saturdays, nor at any time on Sundays Bank Holidays or Public Holidays.

REASON:

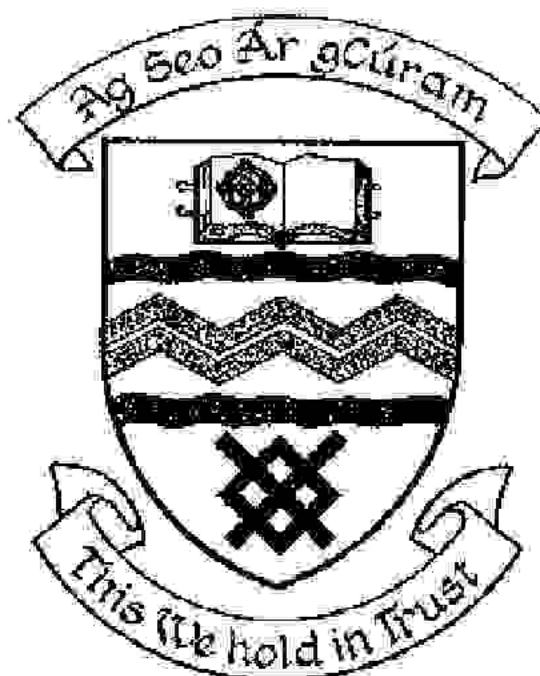
In the interests of amenity and public health.

- 15 (a) The foul pumping system shall be designed and configured so that effluent remains in the system for a maximum of 3 hours to avoid the risk of septicity. A minimum of 24 hours overflow storage, or suitable alternative, shall be provided in the event of pump failure. The installation, operation and maintenance of the system, up to the point of connection to the existing public sewer, shall remain the responsibility of the applicant.
- (b) Final details regarding the proposed connection of the proposed foul sewerage to the system outside the site shall be agreed with the Planning Authority

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- prior to the commencement of development. These works shall be carried out and completed to the satisfaction of the Planning Authority at the applicants expense.
- (c) Any Septic Tank/Effluent Treatment System and percolation/irrigation area shall be in accordance with S.R.6: 1991 and the requirements of the EPA's Wastewater Treatment Manual for Single Houses. Certification standard shall be submitted to South Dublin County Council.
 - (d) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
 - (e) Applicant to ensure full and complete separation of foul and surface water systems.
 - (f) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways and 0.9m in open space. Where it is not possible to achieve these minimum covers pipes shall be bedded and surrounded in C20 concrete 150mm thick.
 - (g) The surface water run-off for the proposed development shall drain to soakage areas designed and constructed in accordance with BRE digest 365. Certification of compliance by an Engineer shall be submitted to the Planning Authority.
 - (h) Each property shall have its own individual service connection to the new watermain and 24 hour storage.

REASON:

In the interests of public health.

- 16 Details of any perimeter security fencing shall be submitted to the Planning Authority for its written agreement prior to commencement of development.

REASON:

In the interests of amenity and protection of architectural heritage.

- 17 The reinstatement of any internal decorative features shall only be carried out if clear evidence of the original form is available.

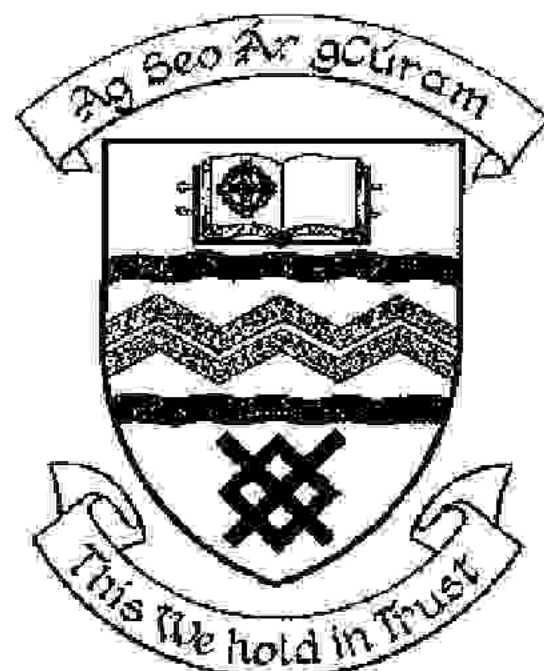
REASON:

To ensure proper restoration practice and to safeguard the character of the Protected Structure.

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- 18 Cleaning of the external granite stone shall only be carried out using unabrasive methods (e.g. washing with water and biodegradable detergent).

REASON:

To safeguard the existing character of the Protected Structure.

- 19 New stonework shall match the existing and the mortar used shall be a lime based mortar to match the existing.

REASON:

To ensure proper repair and use of materials.

- 20 The profile and material of the replacement sash windows shall match the existing and shall be agreed with the Planning Authority prior to commencement of development.

REASON:

To ensure the proper use of materials and design consistency throughout Marlay Grange House.

- 21 The paint colour for all external joinery shall match the existing.

REASON:

To safeguard the existing character of the Protected Structure.

- 22 The roofing materials on Marley Grange house shall only be replaced if necessary and all materials shall match existing. Replacement rainwater goods shall also match the existing in profile and material.

REASON:

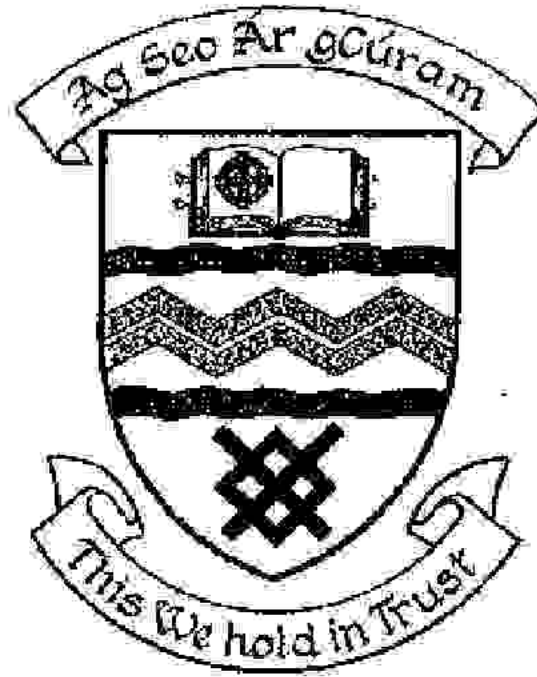
To safeguard the existing character of the Protected Structure.

- 23 The external walls of the service lift and stairs shall be rendered and painted. Details of the paint colour and finish for this area shall be submitted for the written agreement of the Planning Authority prior to the commencement of development. The proposed finish shall match the existing if possible.

REASON:

To safeguard the existing character of the Protected Structure.

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- 24 Original cornices, plasterwork, joinery and fireplaces shall be retained and any necessary repair work shall only be carried out using the appropriate materials to match the existing.

REASON:

To ensure proper repair and use of materials.

- 25 During all of the proposed works the developer shall be mindful of the protected status of Marlay Grange House and shall ensure the protection of the House during these works. The applicant shall submit proposals for the written agreement of the Planning Authority in relation to the protection of features in the house during the construction phase prior to the commencement of development.

REASON:

To safeguard the existing character of the Protected Structure.

- 26 Chemical dpc in the walls of the Gate Lodge shall not be used. Details of an alternative treatment shall be submitted to the Planning Authority for its written agreement prior to the commencement of development.

REASON:

To ensure proper repair and use of materials and as chemical treatment is considered unacceptable.

- 27 Prior to commencement of development details and specification of access ramps shall be submitted to the Planning Authority for its written agreement.

REASON:

To safeguard the character of the Protected Structure.

- 28 The applicant shall submit details justifying the demolition of the courtyard buildings of the northern end of the house, the chimney stack in the house and the removal of the balustrades to the main staircase.

REASON:

To ensure full details are submitted of the proposed works.

- 29 The existing windows on the ground floor of the gate lodge shall be repaired and retained if possible.

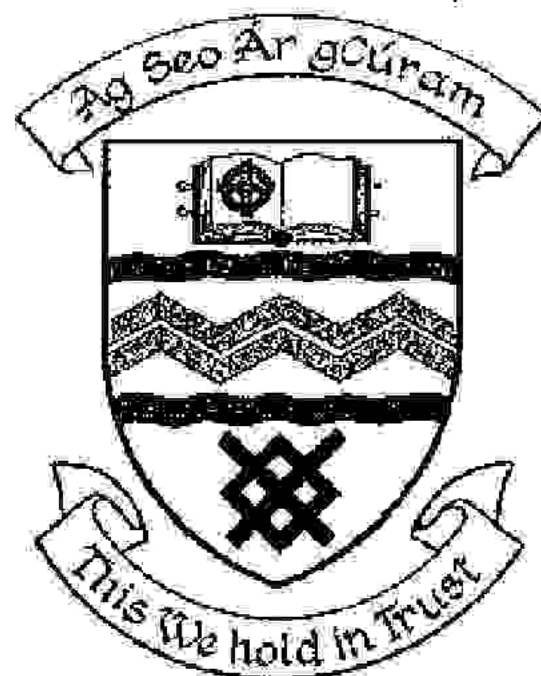
REASON:

In the interest of amenity.

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- 30 That a financial contribution in the sum of EUR 2,857 (two thousand eight hundred and fifty seven euro) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 31 That a financial contribution in the sum of EUR 7,999 (seven thousand nine hundred and ninety nine euro) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 32 That a financial contribution in the sum of EUR 2,857 (two thousand eight hundred and fifty seven euro) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 33 That a financial contribution in the sum of EUR 2,571 (two thousand five hundred and seventy one euro) be paid by the

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Record of Executive Business and Manager's Orders

REG REF. S01A/0751

proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 34 That a financial contribution in the sum of EUR 4,354 (four thousand three hundred and fifty four euro) be paid by the proposer to South Dublin County Council towards the cost of the Dodder Valley Catchment Drainage Improvement Works which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 35 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, kerbs, grass margin and footpath fronting the site has been given by lodgement with the Council of an approved Insurance Company Bond in the sum of EUR 5,714 (five thousand seven hundred and fourteen euro) or lodgement with the Council of a cash sum of EUR 3,809 (three thousand eight hundred and nine euro).

REASON:

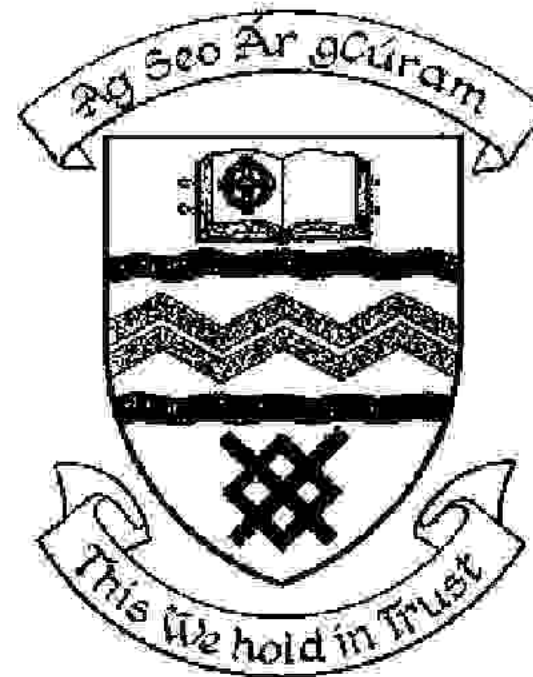
To ensure that a ready sanction may be available to induce the provision of services and prevent disamenity in the development.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 0094	Date of Decision 11/01/2002
Register Reference S01A/0751	Date 14/11/01

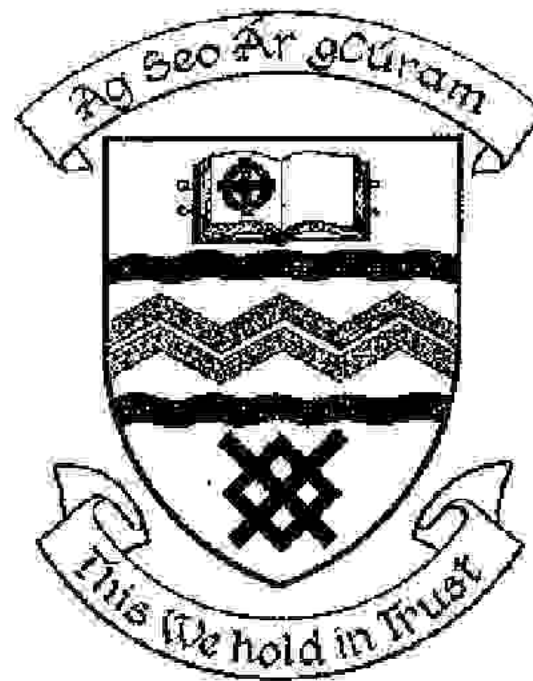
Applicant	Foreign & Commonwealth Office
App. Type	Permission
Development	<p>The works shall comprise the following: refurbishment of Marlay Grange House; alterations to the internal layout provision of new heating plumbing and electrical services; provision of new sanitary facilities; removal of part of secondary stairs; replacement of sash windows with similar sections; reinstatement of east elevation by inserting windows in original location reinstatement of appropriate internal joinery where missing. Demolition of interior of service buildings at the north end of the house & replacement with a new kitchen and service block including new lift for disabled access to all levels. New conservatory and glazed link connecting to west facade of house - Refurbishment of gate lodge and stable block for ancillary uses - Erection of three new houses within the demesne on one and two storey's for embassy officials with associated road lighting and sanitary services. Provisions of new connections to public mains outside the site for foul and surface water services - Demolition of modern sheds, one on eastern boundary adjoining Three Rock Rovers grounds and one opposite stable block - Enlargement of Bellmouth at recessed entrance with new gates and railings onto Grange Road. Refurbishment of hard and soft landscaping throughout the demesne. This is a Protected Structure.</p>
Location	Marley Grange, Grange Road, Rathfarnham

Dear Sir / Madam,

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In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 18/01/2002

Yours faithfully

14/01/02

for SENIOR ADMINISTRATIVE OFFICER

Kelly & Cogan Architects
81 North King Street
Dublin 7