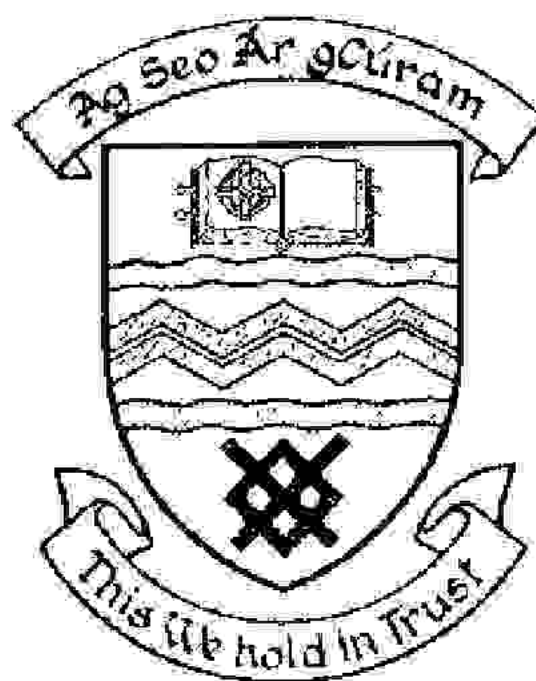


| | | | |
|-----------------------------|---|--|---------------------|
| | South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 & Planning Regs Thereunder Planning Register (Part 1) | Plan Register No. S01A/0752 | |
| 1. Location | 2 Glenmaroon Road, Palmerstown, Dublin 20. | | |
| 2. Development | 2 no. semi-detached dwelling houses to side. | | |
| 3. Date of Application | 15/11/01 | Date Further Particulars (a) Requested (b) Received | |
| 3a. Type of Application | Permission | 1. 11/01/2002 2. | 1. 02/04/2002 2. |
| 4. Submitted by | Name: Architect & Planning Services, Address: 10 The Close, Temple Manor, | | |
| 5. Applicant | Name: Mr & Mrs Evans, Address: 2 Glenmaroon Road, Palmerstown, Dublin 20. | | |
| 6. Decision | O.C.M. No. 2063 Date 29/05/2002 | Effect AP GRANT PERMISSION | |
| 7. Grant | O.C.M. No. 2476 Date 11/07/2002 | Effect AP GRANT PERMISSION | |
| 8. Appeal Lodged | | | |
| 9. Appeal Decision | | | |
| 10. Material Contravention | | | |
| 11. Enforcement | | Compensation | Purchase Notice |
| 12. Revocation or Amendment | | | |
| 13. E.I.S. Requested | E.I.S. Received | E.I.S. Appeal | |
| 14. Registrar | Date | Receipt No. | |

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Halla an Chontae, Lár an Bhaile,
Tamhlacht, Baile Átha Cliath 24.

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Architect & Planning Services,
10 The Close,
Temple Manor,
Celbridge,
Co. Kildare.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

| | |
|-------------------------------|--------------------------------|
| Final Grant Order Number 2476 | Date of Final Grant 11/07/2002 |
| Decision Order Number 2063 | Date of Decision 29/05/2002 |
| Register Reference S01A/0752 | Date 02/04/02 |

Applicant Mr & Mrs Evans,

Development 2 no. semi-detached dwelling houses to side.

Location 2 Glenmaroon Road, Palmerstown, Dublin 20.

Floor Area 0.00 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 11/01/2002 /02/04/2002

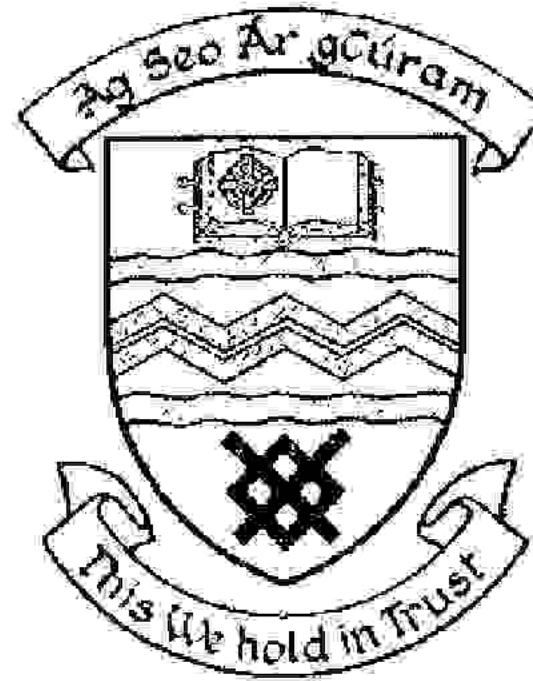
A Permission has been granted for the development described above,
subject to the following (14) Conditions.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 That all external finishes harmonise in colour and texture with the existing premises.

REASON:

In the interest of visual amenity.

- 3 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 4 That the proposed house be used as a single dwelling unit.

REASON:

To prevent unauthorised development.

- 5 That an acceptable house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed house.

Reason:

In the interests of the proper planning and development of the area.

- 6 The applicant is requested to adhere to the requirements of the Environmental Services Department, South Dublin County Council regarding the following:

(a) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.

(b) Applicant to ensure full and complete separation of foul and surface water systems.

(c) Any drains that run under the proposed building shall be protected in accordance with the Building Regulations 1997 Technical Guidance Document H (Drainage and Wastewater Disposal).

(d) The property shall have its own individual service connection to the public watermain and 24hour storage.

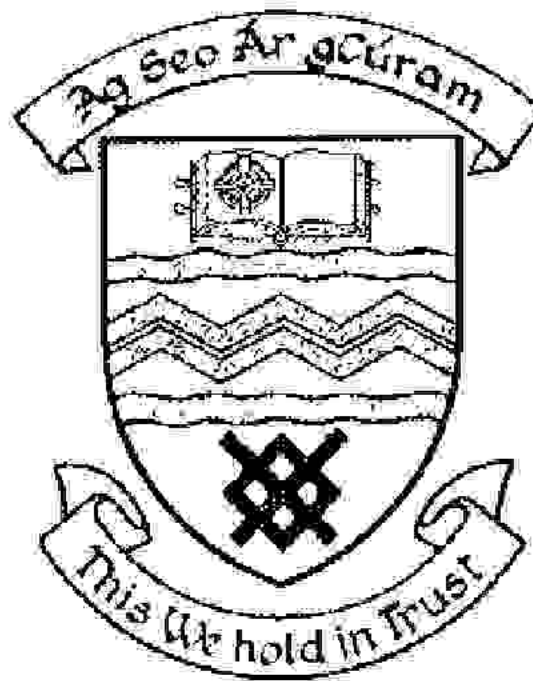
SOUTH DUBLIN COUNTY COUNCIL

REG. REF. SOLA/00122 **COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

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(e) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

Reason:

In the interests of public health and in order to comply with the Sanitary Services Acts 1878-1964

- 7 The applicant is requested to adhere to the requirements of the Roads Department, South Dublin County Council regarding the following:

1. Footpath and kerb to be dished and the new driveway constructed for both existing and proposed houses to the satisfaction of the Area Engineer, Roads Maintenance.

2. Alterations to Environmental Services valve cover/frame to be at applicant's own expense.

Reason: In the interests of the proper planning and development of the area

- 8 The proposed development shall meet the following requirements:

(a) Vehicular entrance width shall be between 2.3 -3.0 with (maximum width of 3 metres)

(b) The gate piers shall harmonise with existing boundary walls

(c) The front gates shall be of wrought iron and shall not open onto public footpath

(d) front garden boundary wall shall be similar to existing garden boundary walls of adjacent dwellings

Reason: In the interest of the protection of residential amenity and the maintenance of visual amenity and in the interest of public safety.

- 9 That prior commencement to development on site the attached single storey garage shall be demolished, to facilitate the attachment of the proposed house to the existing dwelling.

Reason: In the interest of the proper planning and development of the area.

- 10 That the ground floor w.c. on the west elevation and the first floor bathroom on the south elevation of the proposed building shall be fitted and permanently maintained with obscure glass.

Reason: To protect the amenities of residents

SOUTH DUBLIN COUNTY COUNCIL

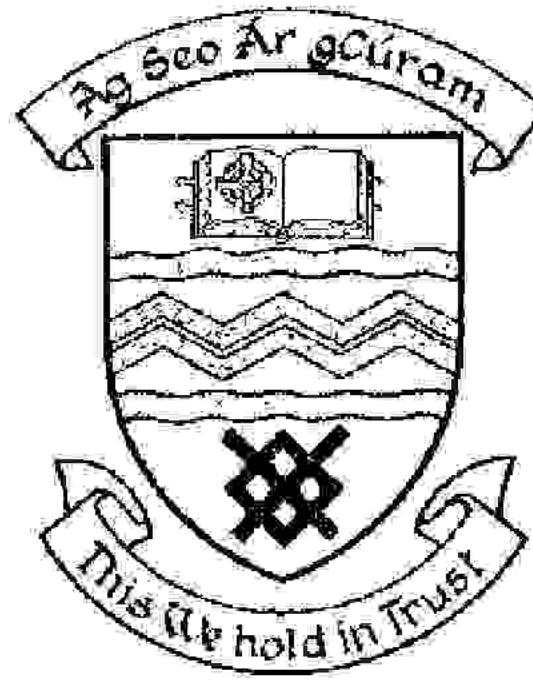
REG REF. S01A/03/12

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- 11 That a financial contribution in the sum of EUR 952 (nine hundred and fifty two euro) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 12 That a financial contribution in the sum of EUR 2,666 (two thousand six hundred and sixty six euro) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 13 That a financial contribution in the sum of EUR 1,270 (one thousand two hundred and seventy euro) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 14 That a financial contribution in the sum of EUR 508 (five hundred and eight euro) be paid by the proposer to South Dublin County Council towards the cost of the Lucan/ Palmerstown Water Supply Improvement Scheme which serves this development; this contribution to be paid before the commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered

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REG. REF. S01A/0001

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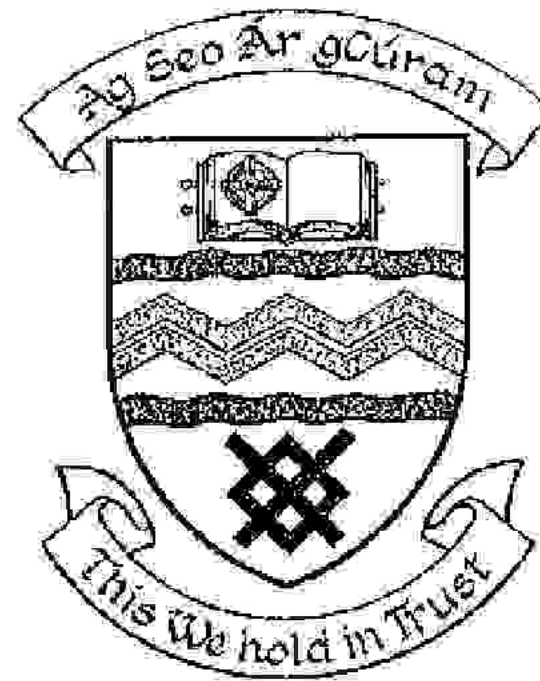
reasonable that the development should contribute towards
the cost of the works.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....11/07/02
for SENIOR ADMINISTRATIVE OFFICER

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING & DEVELOPMENT ACT 2000

| | |
|------------------------------|-----------------------------|
| Decision Order Number 2063 | Date of Decision 29/05/2002 |
| Register Reference S01A/0752 | Date: 15/11/01 |

Applicant Mr & Mrs Evans,
Development 2 no. semi-detached dwelling houses to side.
Location 2 Glenmaroon Road, Palmerstown, Dublin 20.
Floor Area Sq Metres
Time extension(s) up to and including
Additional Information Requested/Received 11/01/2002 /02/04/2002
Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County of South Dublin, did by Order dated as above make a **DECISION TO GRANT PERMISSION** in respect of the above proposal.

Subject to the conditions (14) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

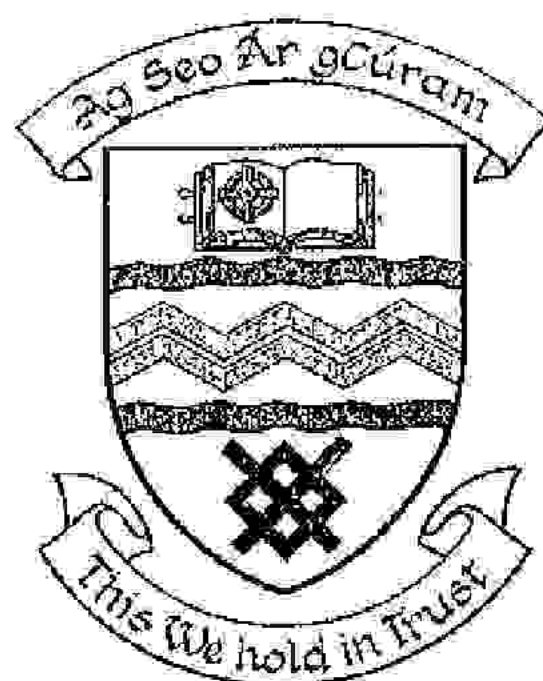
 30/05/02
for SENIOR EXECUTIVE OFFICER

Architect & Planning Services,
10 The Close,
Temple Manor,
Celbridge,
Co. Kildare.

**SOUTH DUBLIN COUNTY COUNCIL
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REG REF. S01A/0752

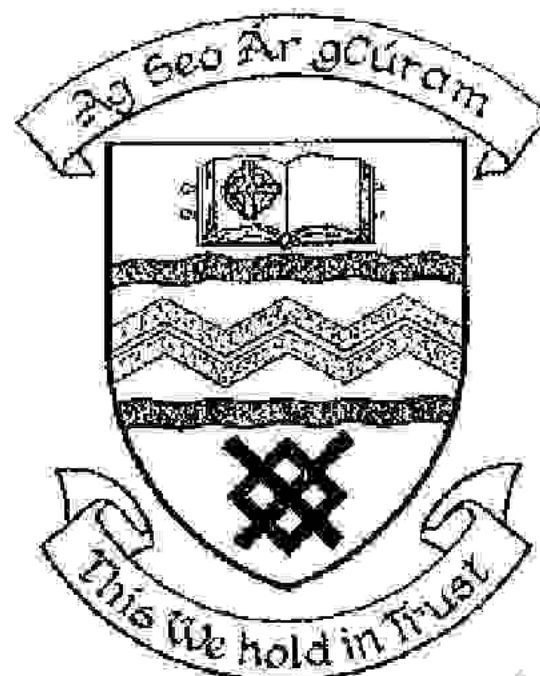
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That all external finishes harmonise in colour and texture with the existing premises.
REASON:
In the interest of visual amenity.
- 3 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 4 That the proposed house be used as a single dwelling unit.
REASON:
To prevent unauthorised development.
- 5 That an acceptable house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed house.
Reason:
In the interests of the proper planning and development of the area.
- 6 The applicant is requested to adhere to the requirements of the Environmental Services Department, South Dublin County Council regarding the following:
 - (a) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
 - (b) Applicant to ensure full and complete separation of foul

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REG. REF. S01A/0752

and surface water systems.

(c) Any drains that run under the proposed building shall be protected in accordance with the Building Regulations 1997 Technical Guidance Document H (Drainage and Wastewater Disposal).

(d) The property shall have its own individual service connection to the public watermain and 24hour storage.

(e) The connection to and tapping of public watermain shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

Reason:

In the interests of public health and in order to comply with the Sanitary Services Acts 1878-1964

- 7 The applicant is requested to adhere to the requirements of the Roads Department, South Dublin County Council regarding the following:

1. Footpath and kerb to be dished and the new driveway constructed for both existing and proposed houses to the satisfaction of the Area Engineer, Roads Maintenance.

2. Alterations to Environmental Services valve cover/frame to be at applicant's own expense.

Reason: In the interests of the proper planning and development of the area

- 8 The proposed development shall meet the following requirements:

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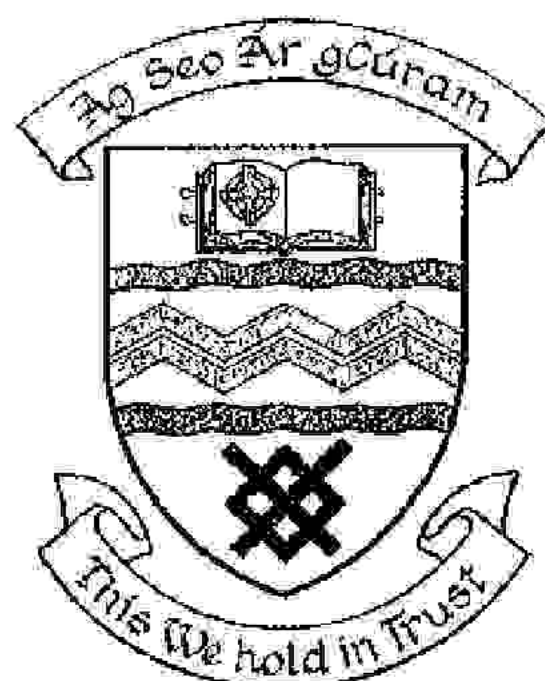
(b) The gate piers shall harmonise with existing boundary walls

(c) The front gates shall be of wrought iron and shall not open onto public footpath

(d) front garden boundary wall shall be similar to existing garden boundary walls of adjacent dwellings

Reason: In the interest of the protection of residential amenity and the maintenance of visual amenity and in the interest of public safety.

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COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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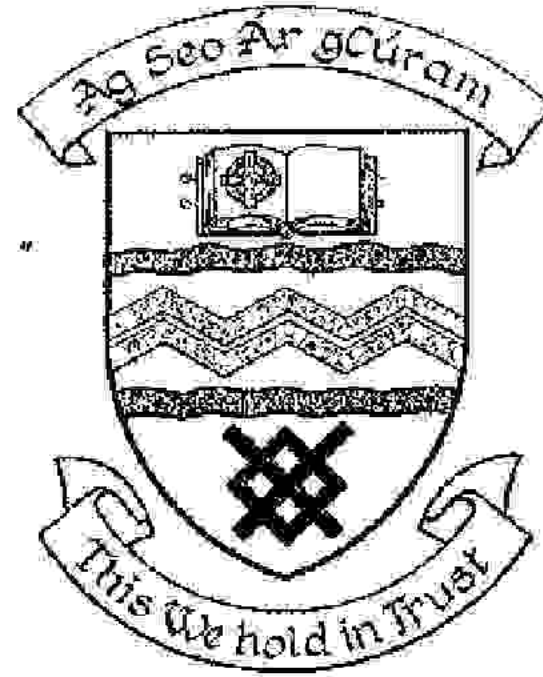
**PLANNING
DEPARTMENT**
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Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

REG REF. S01A/0752

- 9 That prior commencement to development on site the attached single storey garage shall be demolished, to facilitate the attachment of the proposed house to the existing dwelling.
Reason: In the interest of the proper planning and development of the area.
- 10 That the ground floor w.c. on the west elevation and the first floor bathroom on the south elevation of the proposed building shall be fitted and permanently maintained with obscure glass.
Reason: To protect the amenities of residents
- 11 That a financial contribution in the sum of EUR 952 (nine hundred and fifty two euro) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.
REASON:
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 12 That a financial contribution in the sum of EUR 2,666 (two thousand six hundred and sixty six euro) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.
REASON:
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.
- 13 That a financial contribution in the sum of EUR 1,270 (one thousand two hundred and seventy euro) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate

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REG. REF. S01A/0752

the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 14 That a financial contribution in the sum of EUR 508 (five hundred and eight euro) be paid by the proposer to South Dublin County Council towards the cost of the Lucan/ Palmerstown Water Supply Improvement Scheme which serves this development; this contribution to be paid before the commencement of development on site.

REASON:

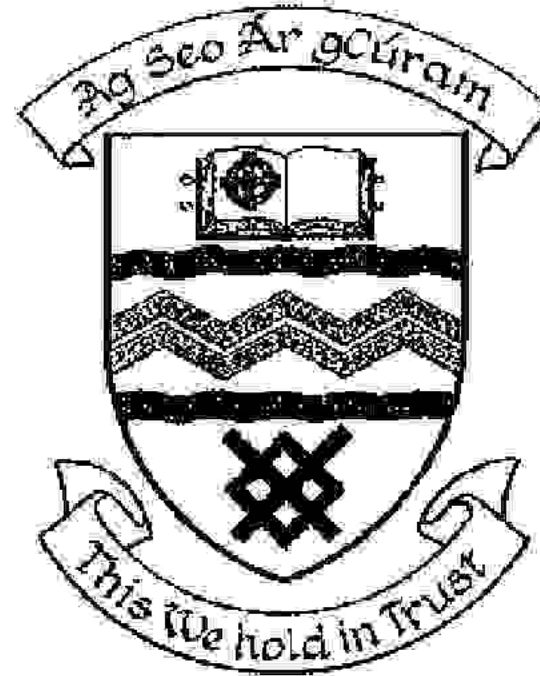
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the development should contribute towards the cost of the works.

C

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

| | |
|------------------------------|-----------------------------|
| Decision Order Number 0082 | Date of Decision 11/01/2002 |
| Register Reference S01A/0752 | Date: 15/11/01 |

Applicant Mr & Mrs Evans,
Development 2 no. semi-detached dwelling houses to side.

Location 2 Glenmaroon Road, Palmerstown, Dublin 20.

App. Type Permission

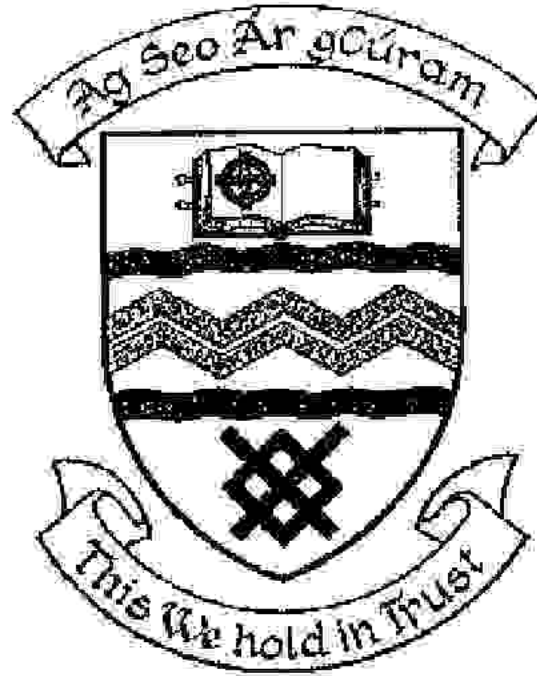
Dear Sir/Madam,

With reference to your planning application, received on 15/11/01 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1999 and the Planning and Development Act 2000, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

- 1 The applicant is requested to submit Additional Information to ensure the proposed development conforms with the restrictions of the foul sewer system and the provisions of the South Dublin County Development Plan 1998. In this regard the proposed development should adhere to the following:
 - (a) One dwelling unit only.
 - (b) Proposed dwelling unit attached to no. 2 Glenmaroon Road to form part of terrace.
 - (c) Proposed dwelling unit of similar dimensions i.e. width, roof pitch.
 - (d) Proposed dwelling unit to using matching materials to existing dwellings.
- 2 The applicant shall submit house surface water drainage plans showing the exact location of all drains, manholes, AJs etc. up to the point of connection to the public foul sewer. This layout shall be in accordance with the Building Regulations and shall ensure full and complete separation of

Architect & Planning Services,
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- foul and surface water systems. Applicant shall note that no buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
- 3 If the applicant is proposing to connect into a private/ common drain they shall be required to clarify the number of house currently served by this drain. No more than 8 houses can be served by the same common surface water drain so if necessary the applicant shall be required to make a new connection to the public foul sewer.
- 4 The applicant is requested to submit plans particulars and details of proposed front garden boundary and vehicular entrance to scale of not less than 1:100 to the following requirements:
- (a) Vehicular entrance width between 2.3 - 3.0 with (maximum width of 3 metres)
 - (b) Fixed gate piers/pillars similar to existing gate piers.
 - (c) Cast iron/metal gates which open inwards.
 - (d) Front garden boundary wall similar to existing garden boundary walls of adjacent dwellings.
 - (e) At least one third of the front garden area shall be either grassed or landscaped.

Signed on behalf of South Dublin County Council


.....
for Senior Administrative Officer

11/01/02