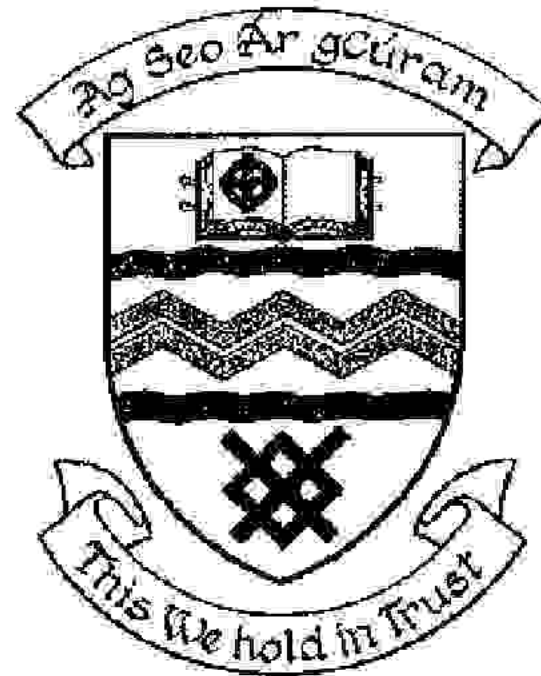


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SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Halla an Chontae,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
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**PLANNING
DEPARTMENT**
County Hall,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
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NOTIFICATION OF DECISION TO REFUSE PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

| | |
|------------------------------|-----------------------------|
| Decision Order Number 0083 | Date of Decision 11/01/2002 |
| Register Reference S01A/0754 | Date 15/11/01 |

Applicant Mr Alan Napier

Development Permission for a 3 bedroom two storey house in side garden

Location 29 Sundale Grove, Tallaght, Dublin 24

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received /

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to REFUSE PERMISSION in respect of the above proposal.

for the (4) Reasons on the attached Numbered Pages.

Signed on behalf of the South Dublin County Council

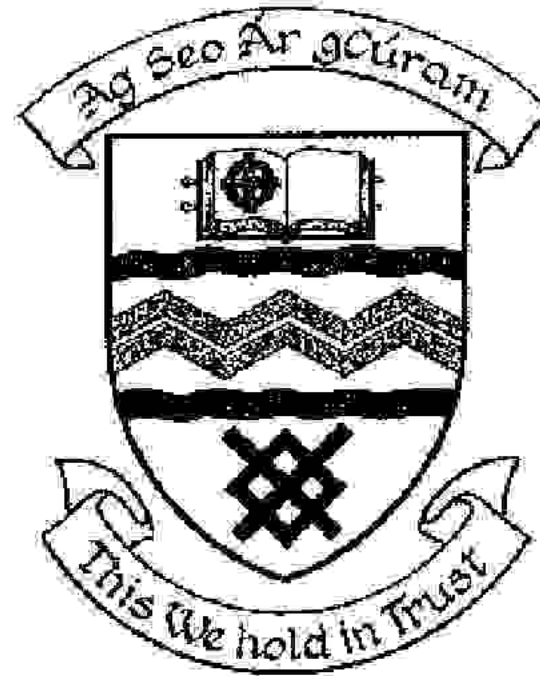

..... 11/01/02
for SENIOR ADMINISTRATIVE OFFICER

Tony Colbert Dip Archtech
169 Forest Hills
Rathcoole
County Dublin

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REG REF. S01A/0754

Reasons

- 1 A 2 metre separation distance is normally required between the flank walls of dwellings (and extensions thereto) and the back of the public footpath. The proposed development would provide an inadequate separation distance of approximately 0.6 metres, which would render it visually obtrusive and would constitute a substandard form of residential development.
- 2 The side of the proposed dwelling would seriously infringe an existing building line formed by the front of the row of houses to the rear (north) of the application site.
- 3 The proposed dwelling by virtue of its position in relation to the dwelling on Sundale Heights immediately to the rear (north), would seriously injure the amenities of this property by virtue of overlooking, overshadowing and loss of outlook.
- 4 The site is located in an area zoned "A" in the South Dublin County Development Plan, 1998, the objective for which is "to protect and/or improve residential amenity". For the reasons outlined at 1, 2 and 3 above, the proposed development would contravene materially this development plan zoning objective, would set an undesirable precedent for further similar development in the area and would be contrary to the proper planning and development of the area.