

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S96A/0106
1. Location	Adjacent Homeville, 3 Ballycullen Road, Dublin 16.	
2. Development	Retention of change of 2 storey house type and for deletion of Management Company Condition for approved development (S94A/0347) for 5 no. 3 bed town houses and 1 no. bungalow.	
3. Date of Application	29/02/96	Date Further Particulars (a) Requested (b) Received
3a. Type of Application	Permission	1. 2.
4. Submitted by	Name: Niall D. Brennan Associates Architects, Address: 24 Fitzwilliam Place, Dublin 2.	
5. Applicant	Name: McFeely Bros. Ltd., Address: Scope House, Whitehall Road West, Dublin 12.	
6. Decision	O.C.M. No. 0747 Date 26/04/96	Effect AG GRANT PERMISSION & REFUSE PERMISSION
7. Grant	O.C.M. No. 1089 Date 10/06/96	Effect AG GRANT PERMISSION & REFUSE PERMISSION
8. Appeal Lodged		
9. Appeal Decision		
10. Material Contravention		
11. Enforcement	Compensation	Purchase Notice
12. Revocation or Amendment		
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14. Registrar	Date	Receipt No.

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Niall D. Brennan Associates Architects,
24 Fitzwilliam Place,
Dublin 2.

NOTIFICATION OF GRANT OF PERMISSION

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 1089	Date of Final Grant 10/06/96
Decisions Order Number 0747	Date of Decision 26/04/96
Register Reference S96A/0106	Date 29th February, 1996

Applicant McFeely Bros. Ltd.,

Development Retention of change of 2 storey house type and for deletion of Management Company Condition for approved development (S94A/0347) for 5 no. 3 bed town houses and 1 no. bungalow.

Location Adjacent Homeville, 3 Ballycullen Road, Dublin 16.

Floor Area 0.000 Sq. Metres

Time Extension(s) up to and including

Additional Information Requested/Received /

A decision to Grant Permission for the retention of change of house type subject to conditions specified in Schedule 1 (20 Conditions).

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Conditions and Reasons

- 1 The development to be in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 That each proposed house be used as a single dwelling unit.

REASON:

To prevent unauthorised development.

- 3 That a financial contribution in the sum of £2,490 (two thousand, four hundred and ninety pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 4 That details of the Management Agreement for the maintenance and control of the site be submitted and agreed with the Planning Authority prior to commencement of development.

REASON:

In the interest of the proper planning and development of the area.

- 5 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services including roads, open space, car parks, sewers, watermains or drains has been given by:-

- a. Lodgement with the Council of an approved bond or letter of guarantee in the sum of £5,000 (five thousand pounds);

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OR...../

- b. Lodgement with the Council of a cash sum of £5,000 (five thousand pounds) to be applied by the Council at its absolute discretion if such services are not provided to its satisfaction.

REASON:

To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

- 6 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 7 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON:

In the interest of amenity.

- 8 That no dwellinghouse be occupied until all the services have been connected thereto and are operational.

REASON:

In the interest of the proper planning and development of the area.

- 9 That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.

REASON:

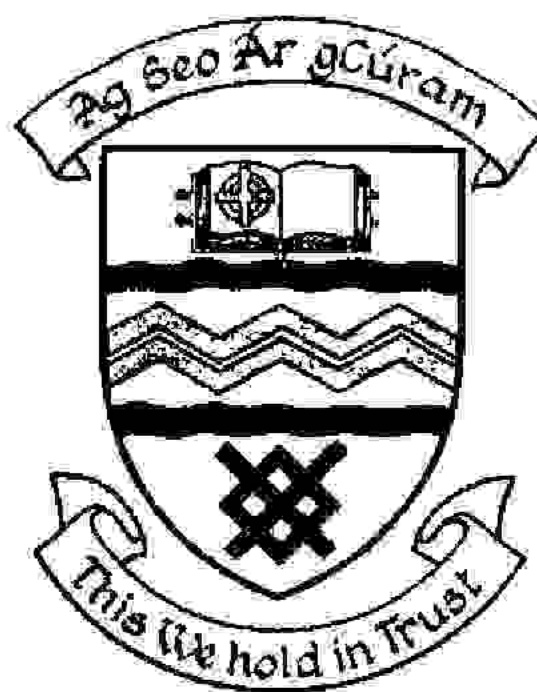
In the interest of the proper planning and development of the area.

- 10 That water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

These requirements to include, inter alia;

1. FOUL SEWER

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- (i) Details to be submitted showing that the proposed pipework does not conflict with the surface water drainage in the area which is subject to flooding.
- (ii) Details to be submitted showing the sewer extended to the site entrance on Ballycullen Road.
- (iii) Details to be submitted showing pipe sizes, invert levels, ground levels and connection to the public sewer.
- (iv) Details to be submitted for the agreement of both Environmental Services and Parks Departments in relation to laying of pipe across the adjoining area of public open space.

2. SURFACE WATER

- (i) Details to be submitted for the agreement of both Environmental Services and Parks Departments of the proposed treatment of the stream that forms the western boundary of the site.
- (ii) Details to be submitted for a flood route to cater for flows above design flows.
- (iii) Details to be submitted of finished floor levels of all houses - these to be a minimum of 0.5 metres above the recorded flood level.

REASON:

In the interest of the proper planning and development of the area.

- 11 That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

- 12 That a financial contribution in the sum of £1,000 (one thousand pounds) per house total £6,000 (six thousand

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pounds) be paid by the proposer to South Dublin County Council towards the cost of Class I open space at Dodder Valley park, including the development of recreational facilities which facilitates the proposed development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 13 That the mature walnut tree at the northern end of the site be preserved. Prior to any works commencing on site, a detailed plan to be submitted for the written agreement of the Planning Authority indicating the extent of works proposed within a 10 metre radius of the tree. This plan should indicate all underground services, footpaths, roads, kerbing and walls which are proposed in the vicinity.

REASON:

In the interest of visual amenity.

- 14 That a bond or cash lodgement of £2,000 (two thousand pounds) be lodged with the Planning Authority before development commences to ensure the protection of the mature walnut tree at the northern end of the site and to repair any damage caused during the construction period.

REASON:

In the interest of the proper planning and development of the area.

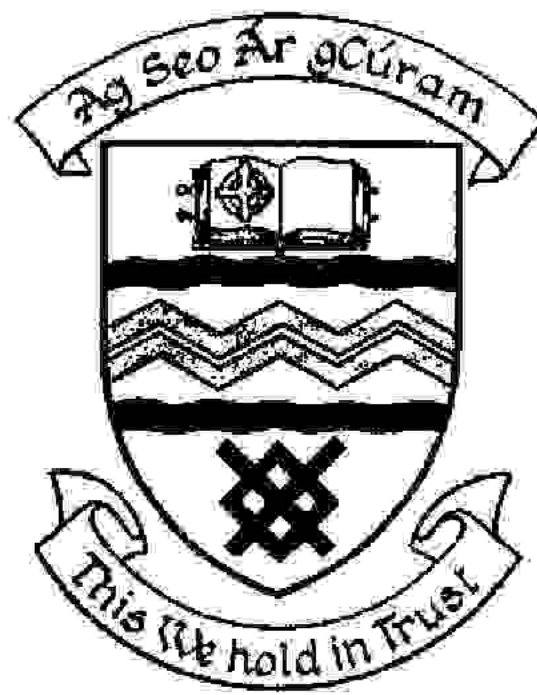
- 15 That a scheme for boundary treatment along the western boundary of the site be submitted for the written agreement of the Planning Authority prior to the commencement of the development.

REASON:

In the interest of visual amenity and the proper planning and development of the area.

- 16 That no house, or part thereof, be within 20 metres of the Southern Cross Route Motorway reservation. A site layout plan showing how this is to be achieved to be submitted for the written agreement of the Planning Authority prior to the commencement of the development. It should be noted that this may mean omitting one house from the terrace proposed at the north end of the site.

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REASON:

In the interest of the proper planning and development of the area.

- 17 That the two proposed access roads have a minimum width of 5.5 metres and no house to be within 2 metres of the eastern Ballycullen Road boundary of the site.

REASON:

In the interest of the proper planning and development of the area.

- 18 That the geometry of the entrances onto the Ballycullen Road be revised to provide adequate sight distances in a manner to be agreed in writing by the Planning Authority prior to the commencement of the development. This may require, inter alia alterations to the north eastern corner of the northern entrance.

REASON:

In the interest of the proper planning and development of the area.

- 19 That the roadside boundary stone wall be retained, and repaired where necessary, except where its demolition or alteration is required to form new entrances or to comply with Condition No. 18 above.

REASON:

In the interest of visual amenity and traffic safety.

- 20 That a financial contribution in the sum of £800 per house (eight hundred pounds) (total £4,800) be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

In the interest of the proper planning and development of the area.

A decision to Refuse Permission for deletion of Management Condition for reason specified in Schedule 2.

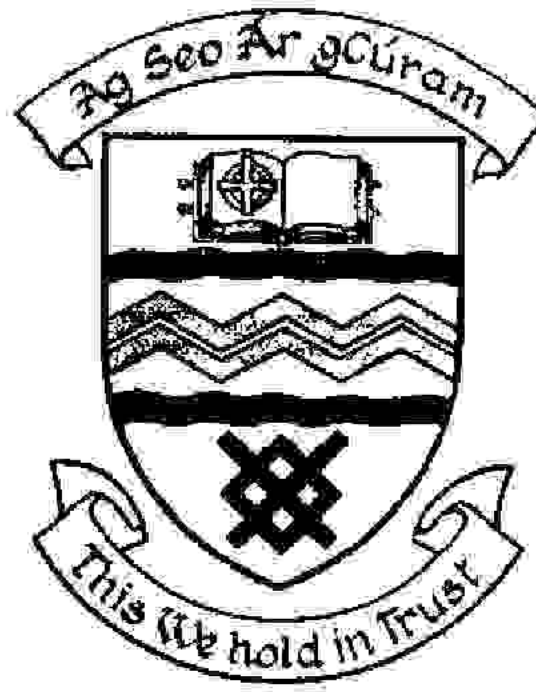
Reason

- 1 The proposed areas do not comply with the Councils standards for 'taking-in-charge' and the proposal would,

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therefore, be contrary to the proper planning and development of the area.

All buildings must now be designed and constructed in accordance with the new Building Regulations. The Regulations also provide that a Commencement Notice must be submitted to the Building Control Authority in respect of all buildings other than exempted development for the purposes of the Local Government (Planning Development) Acts, 1963 - 1993, not less than seven days and not more than twenty-one days before development commences. A copy of the form of commencement notice is attached.

In addition, a Fire Certificate must be obtained from the Building Control Authority in respect of the erection, alteration or change of use of all buildings other than dwelling houses.

Signed on behalf of South Dublin County Council.

.....*J. O. Germain*..... June 1996
for SENIOR ADMINISTRATIVE OFFICER