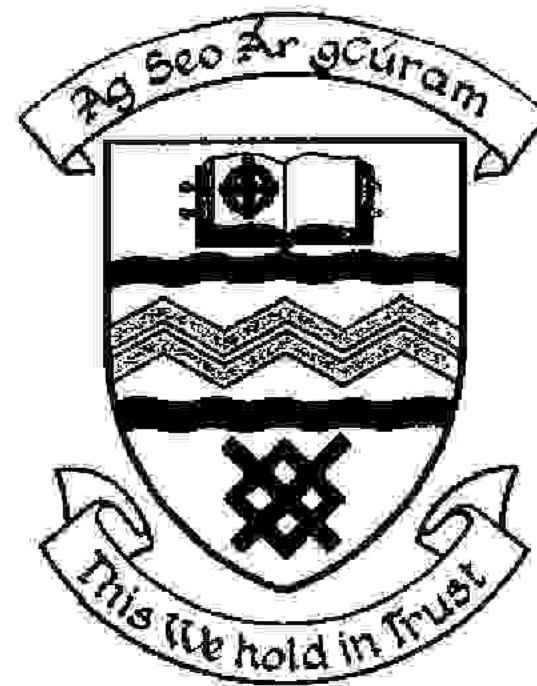


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No.  S96A/0108	
1. Location	At site between Tandy's Lane and Woodview, Lucan, Co. Dublin.		
2. Development	Construct 8 Duplex Apartments with 8 two bedroomed apartments below them. A total of 16 units with ancillary car parking and site development work. As amended by Additional Information received on 16.07.96:- Erection of two 2 storey blocks of apartments having a total of sixteen apartments comprising of fifteen 2 bed and one 3 bed along with ancillary site development works.		
3. Date of Application	29/02/96	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 27/05/96 2.	1. 16/07/96 2.
4. Submitted by	Name: McGrane & Partners, Address: Paradigm House, Dundrum Officer Park, Dundrum,		
5. Applicant	Name: Kindur Ltd., Address: 9, Weston Close, Weston Park, Lucan, Co. Dublin.		
6. Decision	O.C.M. No. 1786  Date 12/09/96	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 2066  Date 23/10/96	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement	Compensation	Purchase Notice	
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar	Date	Receipt No.	

**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**



Bosca 4122,  
Lár an Bhaile, Tamhlacht,  
Baile Átha Cliath 24.

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McGrane & Partners,  
Paradigm House,  
Dundrum Officer Park,  
Dundrum,  
Dublin 14.

**NOTIFICATION OF GRANT OF Permission**

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

<b>Final Grant Order Number</b> 2066	<b>Date of Final Grant</b> 23/10/96
<b>Decision Order Number</b> 1786	<b>Date of Decision</b> 12/09/96
<b>Register Reference</b> S96A/0108	<b>Date</b> 16th July 1996

**Applicant** Kindur Ltd.,

**Development** Construct 8 Duplex Apartments with 8 two bedroomed apartments below them. A total of 16 units with ancillary car parking and site development work.  
As amended by Additional Information received on 16.07.96:-  
Erection of two 2 storey blocks of apartments having a total of sixteen apartments comprising of fifteen 2 bed and one 3 bed along with ancillary site development works.

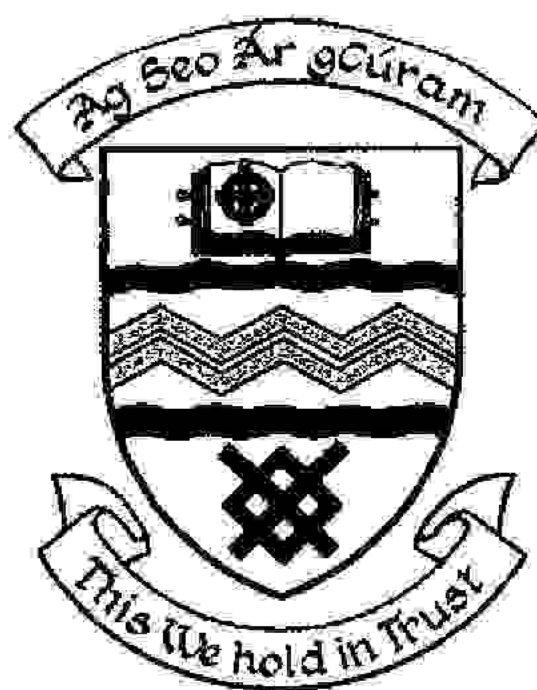
**Location** At site between Tandy's Lane and Woodview, Lucan, Co. Dublin.

**Floor Area** 0.000 Sq Metres  
**Time extension(s) up to and including**  
**Additional Information Requested/Received** 27/05/96 /16/07/96

A Permission has been granted for the development described above,  
subject to the following (22) conditions.



**SOUTH DUBLIN COUNTY COUNCIL**  
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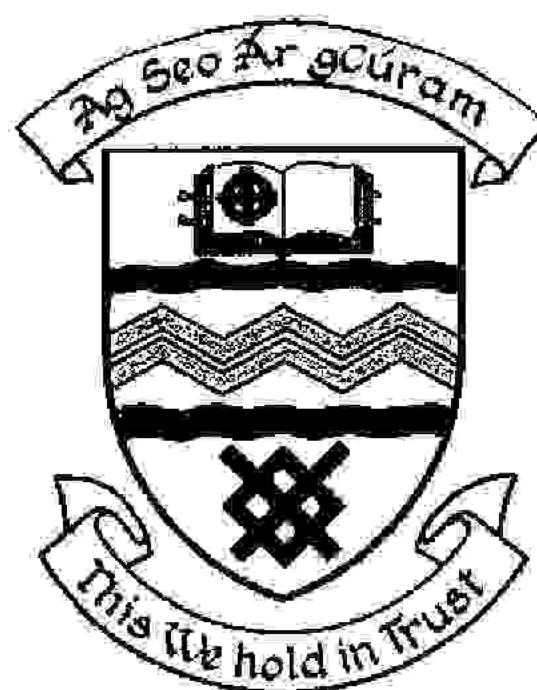
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**Conditions and Reasons**

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, and in accordance with additional information received on 16/7/96 and 24/7/96, save as may be required by the other conditions attached hereto.  
**REASON:**  
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That a financial contribution in the sum of £3,600 (three thousand six hundred pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.  
**REASON:**  
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 3 That a financial contribution in the sum of £500 (five hundred pounds) per apartment be paid to the South Dublin County Council towards the cost of the provision and/or further development of public open space in the Griffeen Valley Regional Park which will serve the proposed development. This contribution to be paid before the commencement of development on site.  
**REASON:**  
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the provision and development of amenity lands in the area which will facilitate the proposed development.
- 4 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services including roads, open space, car parks, sewers, watermains or drains has been

# SOUTH DUBLIN COUNTY COUNCIL COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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given by:-

A. Lodgement with the Council of an approved bond or letter of guarantee in the sum of £10,000 (ten thousand pounds)

OR...../

B. Lodgement with the Council of a Cash Sum of £10,000 (ten thousand pounds) to be applied by the Council at its absolute discretion in such services are not provided to its satisfaction.

REASON:

To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

- 5 That an acceptable apartment numbering and naming scheme be submitted to an approved by the South Dublin County Council before any constructional work takes place on the development.

REASON:

In the interest of the proper planning and development of the area.

- 6 That details of the Management Agreement for the maintenance and control of the site be submitted and agreed with the Planning Authority prior to the commencement of development.

REASON:

In the interest of the proper planning and development of the area.

- 7 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 8 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON:

In the interest of amenity.

- 9 That no apartment be occupied until all the services have been connected thereto and are operational.

REASON:

In the interest of the proper planning and development of the area.



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- 10 That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.  
**REASON:**  
 In the interest of the proper planning and development of the area.
- 11 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.  
**REASON:**  
 In order to comply with the Sanitary Services Acts, 1878-1964.
- 12 That all watermain tapplings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.  
**REASON:**  
 To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.
- 13 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.  
**REASON:**  
 In the interest of reducing air pollution.
- 14 The proposed car parking area shall be laid out and marked on site in accordance with the Development Plan Standards and shall be available for use prior to the occupation of the apartment.  
**REASON:**  
 In the interest of the proper planning and developmetn of the area.

**SOUTH DUBLIN COUNTY COUNCIL**  
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- 15 Prior to development commencing on the site a comprehensive up to-date tree survey to be submitted, indicating the location, species, age, condition, crown spread and height of all trees. Details of proposals for the removal/retention of these trees and measures proposed to protect them during the course of construction to be submitted with the tree survey. All trees to be retained on site to be protected by suitable fencing. A scheme of tree felling and surgery works to be submitted and agreed prior to commencement of works on site.

**REASON:**

In the interest of amenity.

- 16 That a Bond or Cash Lodgement of £5,000 (five thousand pounds) shall be lodged with the Planning Authority before development commences to ensure the protection of trees on the site and to repair any damage caused during the construction period.

**REASON:**

In the interest of the proper planning and development of the area.

- 17 Prior to commencement of works on site the developer shall submit to and agree with the Planning Authority full details of the proposed boundary treatment for the site. This shall have regard in particular to the effects of such treatment on the existing trees and planting adjacent to the western boundary of the site.

**REASON:**

In the interest of amenity.

- 18 Prior to commencement of works the developer shall submit and agree details of the location of existing foul and surface water sewers on the site.

**REASON:**

To comply with the requirements of Environmental Services Department.

- 19 That a financial contribution in the sum of £100 (one hundred pounds) per apartment be paid by the proposer to South Dublin County Council towards the cost of upgrading



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Esker Pumping Station which will facilitate this development; this contribution to be paid before the commencement of development on the site.

**REASON:**

The upgrading of this service in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the service.

- 20 That a financial contribution in the sum of £400 (four hundred pounds) per apartment be paid by the proposer to South Dublin County Council towards the cost of the Lucan Water Supply Improvement Scheme which will facilitate this development; this contribution to be paid before the commencement of development on the site.

**REASON:**

The provision of this service in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the service.

- 21 That prior to commencement of works on site that revised details to provide for a set back of the proposed entrance piers and front boundary and a 2 metre wide footpath along the front boundary of the site in accordance with the requirements of the Roads Department, South Dublin County Council be submitted to and agreed with the Planning Authority.

**REASON:**

To comply with the requirements of the Roads Department in the interest of public safety.

- 22 That a financial contribution in the sum of money equivalent to the value of £800 (eight hundred pounds) per apartment (total £12,800) as on 1st January, 1991, updated in accordance with the Wholesale Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic

REG. REF. S96A/0108 SOUTH DUBLIN COUNTY COUNCIL  
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management in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

All buildings must now be designed and constructed in accordance with the new Building Regulations. The Regulations also provide that a Commencement Notice must be submitted to the Building Control Authority in respect of all buildings other than exempted development for the purposes of the Local Government (Planning and Development) Acts, 1963 - 1993, not less than seven days and not more than twenty-one days before development commences. A copy of the form of commencement notice is attached.

In addition, a Fire Certificate must be obtained from the Building Control Authority in respect of the erection, alteration or change of use of all buildings other than dwelling houses.

Signed on behalf of South Dublin County Council.

..... 24th October 1996  
for SENIOR ADMINISTRATIVE OFFICER



**SOUTH DUBLIN COUNTY COUNCIL**  
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**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

<b>Decision Order Number</b> 0982	<b>Date of Decision</b> 27/05/96
<b>Register Reference</b> S96A/0108	<b>Date</b> 29th February 1996

**Applicant** Kindur Ltd.,  
**Development** Construct 8 Duplex Apartments with 8 two bedroomed apartments below them. A total of 16 units with ancillary car parking and site development work.

**Location** At site between Tandy's Lane and Woodview, Lucan, Co. Dublin.

**App. Type** Permission

Dear Sir/Madam,

With reference to your planning application, received on 29/02/96 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1993, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

- 1 The Planning Authority considers that the proposed 3 storey building would be out of character with the surrounding area which is primarily 2 storey development. The applicant is asked to clarify whether or not he can modify the scheme so that it might be more compatible in this regard.

**NOTE:** In the event of the applicant proposing a two storey development then a revised newspaper advertisement and site notice should be submitted.

- 2 The Parks Superintendent is of the opinion that the tree survey submitted is inaccurate. The applicant is requested to check the survey submitted and amend it if necessary.

McGrane & Partners,  
Paradigm House,  
Dundrum Office Park,  
Dundrum,  
Dublin 14.

**SOUTH DUBLIN COUNTY COUNCIL  
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**PLANNING  
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**NOTE:** The applicant is advised to consult with the Parks Superintendent prior to submission of additional information.

- 3 Road Engineer requires either a set back of the proposed entrance or a relocation of the entrance to a more centralized location. Roads Engineer also require modified road gradients. The applicant is asked to clarify whether or not he can conform with the requirements of the Road Engineer including the provision of car parking spaces to Development Plan standards..
- 4 The applicant is requested to submit design calculations to show that the proposed surface water drainage system is adequate to serve the development (including roads and parking areas).

Signed on behalf of South Dublin County Council

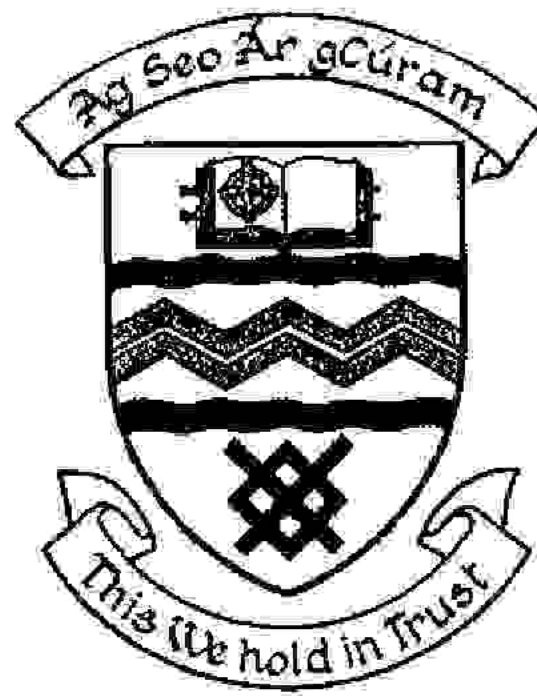
.....  
for Senior Administrative Officer

28/05/96



	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No.  S96A/0108
1. Location	At site between Tandy's Lane and Woodview, Lucan, Co. Dublin.	
2. Development	Construct 8 Duplex Apartments with 8 two bedroomed apartments below them. A total of 16 units with ancillary car parking and site development work. As amended by Additional Information received on 16.07.96:- Erection of two 2 storey blocks of apartments having a total of sixteen apartments comprising of fifteen 2 bed and one 3 bed along with ancillary site development works.	
3. Date of Application	29/02/96	Date Further Particulars (a) Requested (b) Received
3a. Type of Application	Permission	1. 27/05/96 2. 1. 16/07/96 2.
4. Submitted by	Name: McGrane & Partners, Address: Paradigm House, Dundrum Officer Park, Dundrum,	
5. Applicant	Name: Kindur Ltd., Address: 9, Weston Close, Weston Park, Lucan, Co. Dublin.	
6. Decision	O.C.M. No. 1786  Date 12/09/96	Effect AP GRANT PERMISSION
7. Grant	O.C.M. No.  Date	Effect
8. Appeal Lodged		
9. Appeal Decision		
10. Material Contravention		
11. Enforcement	Compensation	Purchase Notice
0	0	0
12. Revocation or Amendment		
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14. .... Registrar	..... Date	..... Receipt No.

**SOUTH DUBLIN COUNTY COUNCIL**  
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**NOTIFICATION OF DECISION TO GRANT PERMISSION**  
**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

Decision Order Number 1786	Date of Decision 12/09/96
Register Reference S96A/0108	Date 29th February 1996

**Applicant** Kindur Ltd.,

**Development** Construct 8 Duplex Apartments with 8 two bedroomed apartments below them. A total of 16 units with ancillary car parking and site development work.  
As amended by Additional Information received on 16.07.96:-  
Erection of two 2 storey blocks of apartments having a total of sixteen apartments comprising of fifteen 2 bed and one 3 bed along with ancillary site development works.

**Location** At site between Tandy's Lane and Woodview, Lucan, Co. Dublin.

**Floor Area** Sq Metres

**Time extension(s) up to and including**

**Additional Information Requested/Received** 27/05/96 /16/07/96

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order dated as above make a decision to **GRANT PERMISSION** in respect of the above proposal.

Subject to the conditions ( 22 ) on the attached Numbered Pages.  
Signed on behalf of the South Dublin County Council.

..... 12/09/96  
for SENIOR ADMINISTRATIVE OFFICER

McGrane & Partners,  
Paradigm House,  
Dundrum Officer Park,  
Dundrum,  
Dublin 14.



SOUTH DUBLIN COUNTY COUNCIL  
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**Conditions and Reasons**

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, and in accordance with additional information received on 16/7/96 and 24/7/96, save as may be required by the other conditions attached hereto.  
REASON:  
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
  
- 2 That a financial contribution in the sum of £3,600 (three thousand six hundred pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.  
REASON:  
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
  
- 3 That a financial contribution in the sum of £500 (five hundred pounds) per apartment be paid to the South Dublin County Council towards the cost of the provision and/or further development of public open space in the Griffeen Valley Regional Park which will serve the proposed development. This contribution to be paid before the commencement of development on site.

SOUTH DUBLIN COUNTY COUNCIL  
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REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the provision and development of amenity lands in the area which will facilitate the proposed development.

- 4 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services including roads, open space, car parks, sewers, watermains or drains has been given by:-

A. Lodgement with the Council of an approved bond or letter of guarantee in the sum of £10,000 (ten thousand pounds)

OR...../

B. Lodgement with the Council of a Cash Sum of £10,000 (ten thousand pounds) to be applied by the Council at its absolute discretion if such services are not provided to its satisfaction.

REASON:

To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

- 5 That an acceptable apartment numbering and naming scheme be submitted to and approved by the South Dublin County Council before any constructional work takes place on the development.

REASON:

In the interest of the proper planning and development of the area.

- 6 That details of the Management Agreement for the maintenance and control of the site be submitted and agreed with the Planning Authority prior to the commencement of development.

REASON:

In the interest of the proper planning and development of the area.



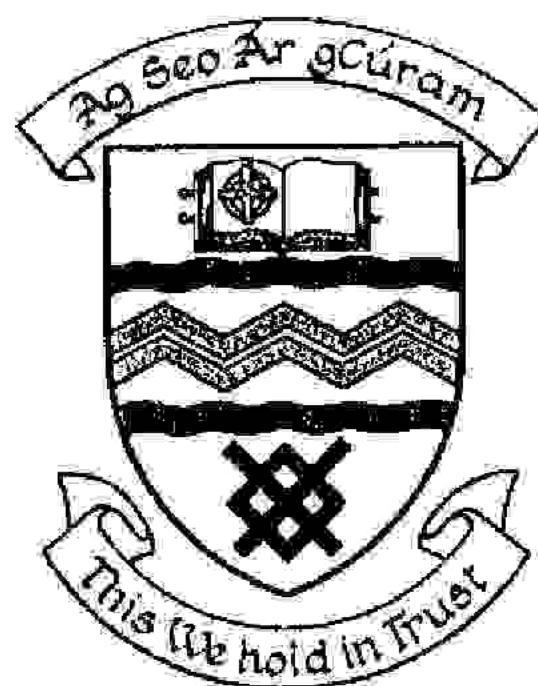
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REG REF. S96A/0108



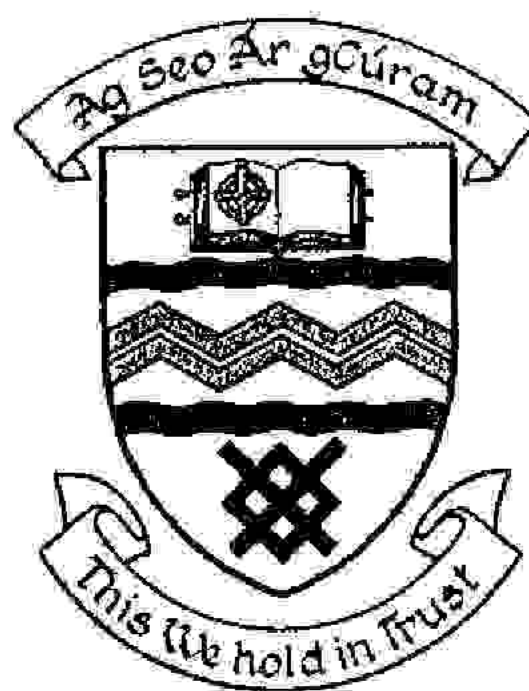
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REASON:  
To protect the amenities of the area.
- 8 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.  
REASON:  
In the interest of amenity.
- 9 That no apartment be occupied until all the services have been connected thereto and are operational.  
REASON:  
In the interest of the proper planning and development of the area.
- 10 That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.  
REASON:  
In the interest of the proper planning and development of the area.
- 11 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.  
REASON:  
In order to comply with the Sanitary Services Acts, 1878-1964.
- 12 That all watermain tapplings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof

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be paid to South Dublin County Council before any development commences.

REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

- 13 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

REASON:

In the interest of reducing air pollution.

- 14 The proposed car parking area shall be laid out and marked on site in accordance with the Development Plan Standards and shall be available for use prior to the occupation of the apartment.

REASON:

In the interest of the proper planning and development of the area.

- 15 Prior to development commencing on the site a comprehensive up to-date tree survey to be submitted, indicating the location, species, age, condition, crown spread and height of all trees. Details of proposals for the removal/retention of these trees and measures proposed to protect them during the course of construction to be submitted with the tree survey. All trees to be retained on site to be protected by suitable fencing. A scheme of tree felling and surgery works to be submitted and agreed prior to commencement of works on site.

REASON:

In the interest of amenity.

- 16 That a Bond or Cash Lodgement of £5,000 (five thousand pounds) shall be lodged with the Planning Authority before



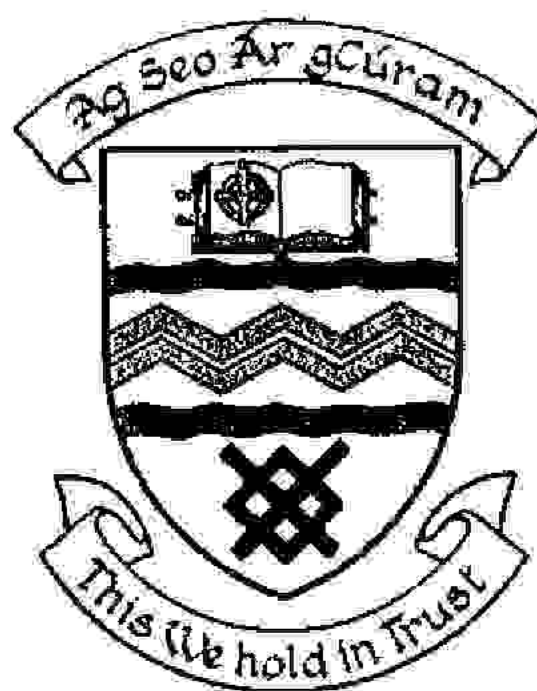
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COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Bosca 4122,  
Lár an Bhaile, Tamhlacht,  
Baile Átha Cliath 24.

Telefon: 01-462 0000

Facs: 01-462 0104

REG REF. S96A/0108



PLANNING  
DEPARTMENT

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Town Centre, Tallaght,  
Dublin 24.

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development commences to ensure the protection of trees on the site and to repair any damage caused during the construction period.

REASON:

In the interest of the proper planning and development of the area.

- 17 Prior to commencement of works on site the developer shall submit to and agree with the Planning Authority full details of the proposed boundary treatment for the site. This shall have regard in particular to the effects of such treatment on the existing trees and planting adjacent to the western boundary of the site.

REASON:

In the interest of amenity.

- 18 Prior to commencement of works the developer shall submit and agree details of the location of existing foul and surface water sewers on the site.

REASON:

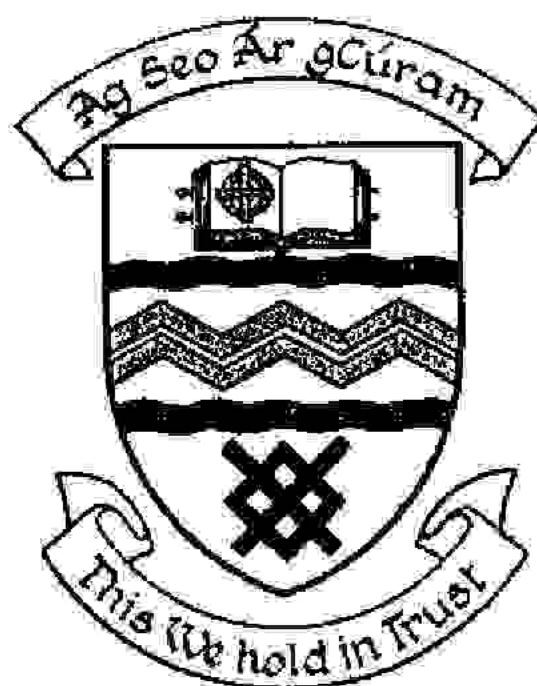
To comply with the requirements of Environmental Services Department.

- 19 That a financial contribution in the sum of £100 (one hundred pounds) per apartment be paid by the proposer to South Dublin County Council towards the cost of upgrading Esker Pumping Station which will facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The upgrading of this service in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the service.

**SOUTH DUBLIN COUNTY COUNCIL  
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- 20 That a financial contribution in the sum of £400 (four hundred pounds) per apartment be paid by the proposer to South Dublin County Council towards the cost of the Lucan Water Supply Improvement Scheme which will facilitate this development; this contribution to be paid before the commencement of development on the site.
- REASON:  
The provision of this service in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the service.
- 21 That prior to commencement of works on site that revised details to provide for a set back of the proposed entrance piers and front boundary and a 2 metre wide footpath along the front boundary of the site in accordance with the requirements of the Roads Department, South Dublin County Council be submitted to and agreed with the Planning Authority.
- REASON:  
To comply with the requirements of the Roads Department in the interest of public safety.
- 22 That a financial contribution in the sum of money equivalent to the value of £800 (eight hundred pounds) per apartment (total £12,800) as on 1st January, 1991, updated in accordance with the Wholesale Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.
- REASON:  
It is considered reasonable that the developer should



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contribute towards the expenditure that was incurred and/or  
that is proposed to be incurred by the Council on road  
improvement works and traffic management schemes  
facilitating the proposed development.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Order Number 0506	Date of Order 21/03/96
Register Reference S96A/0108	Date 29th February 1996

**Applicant** Kindur Ltd.,

**Development** Construct 8 Duplex Apartments with 8 two bedroomed apartments below them. A total of 16 units with ancillary car parking and site development work.

**Location** At site between Tandy's Lane and Woodview, Lucan, Co. Dublin.

Dear Sir/Madam,

An inspection carried out on 19.03.1996 has shown that a site notice was not erected in respect of your planning application. Before this application can be considered, you must erect a notice on the site or structure, and submit the following to the Department:

- (a) a copy of the text of the notice
- (b) a plan showing the position of the notice on the land or structure
- (c) a statement of the date on which the notice is erected

The notice must be maintained in position for at least one month and must fulfil the following conditions:-

1. Must be durable material
2. Must be securely erected in a conspicuous position easily visible and legible by persons using the public road
3. Must be headed "Application to Planning Authority.
4. Must state:
  - (a) Applicant's name
  - (b) whether application is for Permission, Outline Permission, or Approval.

McGrane & Partners,  
Paradigm House,  
Dundrum Officer Park,  
Dundrum,  
Dublin 14.



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- (c) nature and extent of development including number of dwellings (if any)
  - (d) that the application may be inspected at the Planning Department, South Dublin County Council, Town Centre, Tallaght, Dublin 24.

No further consideration will be given to this application until you comply with these requirements.

Yours faithfully,

.....  
for Senior Administrative Officer.

22/03/96