

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)		Plan Register No.  S96A/0109	
1. Location	Dunnes Stores, The Mill Centre, Clondalkin, Dublin 22.			
2. Development	Change of use from storage to retail of the first floor. Alterations to previously approved south elevation, additional external fire escape stairs to west elevation and lift motor room to north/west elevation.			
3. Date of Application	01/03/96		Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission		1. 29/04/96 2.	1. 03/05/96 2.
4. Submitted by	Name: Project Architects, Address: Fleming Court, Flemings Place,			
5. Applicant	Name: Mersada Ltd., Address: 67, Stephens Street Upper, Dublin 8.			
6. Decision	O.C.M. No. 1227 Date 01/07/96		Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 1612 Date 14/08/96		Effect AP GRANT PERMISSION	
8. Appeal Lodged				
9. Appeal Decision				
10. Material Contravention				
11. Enforcement Compensation Purchase Notice				
12. Revocation or Amendment				
13. E.I.S. Requested E.I.S. Received E.I.S. Appeal				
14. .... Registrar Date Receipt No.				



# SOUTH DUBLIN COUNTY COUNCIL

## COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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Project Architects,  
Fleming Court,  
Flemings Place,  
Dublin 4.

### NOTIFICATION OF GRANT OF Permission

#### LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 1612	Date of Final Grant 14/08/96
Decision Order Number 1227	Date of Decision 01/07/96
Register Reference S96A/0109	Date 3rd May 1996

**Applicant** Mersada Ltd.,

**Development** Change of use from storage to retail of the first floor.  
Alterations to previously approved south elevation,  
additional external fire escape stairs to west elevation  
and lift motor room to north/west elevation.

**Location** Dunnes Stores, The Mill Centre, Clondalkin, Dublin 22.

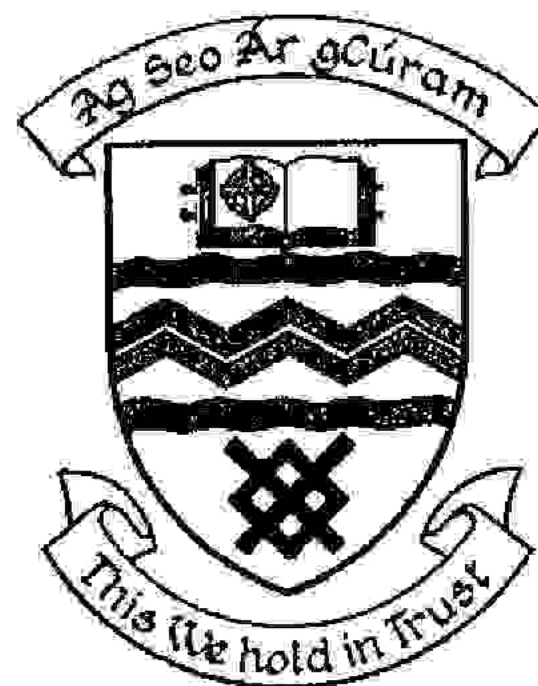
**Floor Area** 10000.000 Sq Metres  
**Time extension(s) up to and including**  
**Additional Information Requested/Received** 29/04/96 /03/05/96

A Permission has been granted for the development described above,  
subject to the following (19) conditions.

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**Conditions and Reasons**

- 1 (1) Prior to commencement of development on the site, a revised site layout plan shall be submitted to and agreed with the planning authority. This plan shall include full details of the main pedestrian circulation routes within the site, vehicular circulation routes, ramps and vehicle turning areas, especially within service vehicle areas, and shall be so designed as to avoid vehicle/pedestrian traffic conflicts.
- (2) All car parking bays and circulation aisle widths shall be in accordance with the requirements of the planning authority.
- (3) All heavy vehicle entry/exit points and circulation routes within the site, including access to service yards shall be agreed with the planning authority.
- (4) The proposed car parking spaces indicated in the service yard adjoining the eastern side of the proposed Mall building shall be omitted and this area shall be reserved for use by service vehicles only.

**REASON:**

In order to ensure a satisfactory standard of development.

- 2 Prior to the commencement of development, detailed proposals for the lighting of the car parking areas and external areas of the building shall be submitted to and agreed with the planning authority.

**REASON:**

In the interest of public safety.

- 3 The design of the signalised junction at the proposed access/exit from Ninth Lock Road shall be to the requirements of the planning authority. The entire cost of these works shall be borne by the developer either as a direct payment to the planning authority or by the developer undertaking the works. The cost shall be additional to any further financial contributions required in relation to roads and services in the area.

**REASON:**



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In the interest of the proper planning and development of the area.

- 4 Prior to the commencement of development on the site, details of revised elevational treatment to the proposed buildings fronting onto the Ninth Lock Road shall be submitted to and agreed with the planning authority. Such revisions shall include provision for the retention of the existing ground floor windows proposed to be blocked up and enhanced treatment of the gable elevation proposed to be retained, such as the provision of a window display area or other suitable treatment.

**REASON:**

In the interest of visual amenity.

- 5 (1) No advertising signs, name signs, directional signs, banners or flag poles relating to the proposed development shall be provided on the site without a prior grant of planning permission, other than those which are exempted development.

- (2) The proposed advertising tower indicated on the lodged plans shall be omitted from the development.

**REASON:**

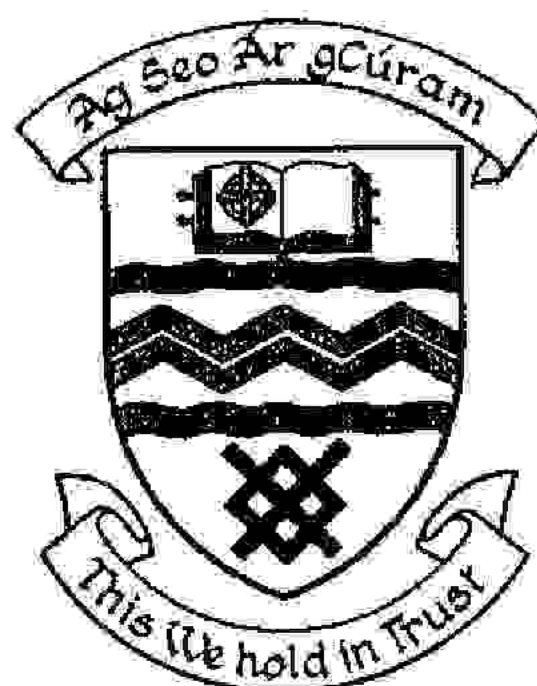
In the interest of visual amenity. Insufficient details have been submitted to enable the proposed tower to be evaluated adequately.

- 6 Prior to the commencement of development the developer shall submit to and agree with the planning authority a comprehensive landscaping plan and implementation programme, including details of proposed site boundary treatment, with adjoining public roads. The plans shall also include detailed specifications and proposals for on-going maintenance, the provision of soft and hard landscaping and details of all surface finishes with particular reference to paved pedestrian areas where high quality finishes will be required such as pavements/setts and shall also show full details of the treatment of the Camac River within the site.

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**REASON:**

In the interest of amenity.

- 7 Prior to the commencement of development, the developer shall submit to and agree with the planning authority details of the following:-
- (a) all rooftop plant and equipment, including tanks, air conditioning, ducts and plant rooms, and
  - (b) the proposed materials and coloured finishes to be used on the external elevations of the centre.

**REASON:**

In the interest of visual amenity.

- 8 Prior to the commencement of development, the developer shall submit to and agree with the planning authority detailed proposals for the provision of waste storage and disposal facilities, including the provision of litter bins.

**REASON:**

To ensure a proper standard of development.

- 9 The developer shall facilitate both the planning authority and the Commissioners of Public Works in the safeguarding, preserving, and recording of any items of archaeological significance which the site may possess. To this end, the developer shall notify the planning authority and the Commissioners of Public Works at least four weeks prior to the commencement of work on the site to facilitate the archaeological appraisal of the site, if it is considered necessary excavation of the site by the relevant authorities. The developer shall also facilitate these authorities to monitor the digging of foundations and the laying of utility services on the site.

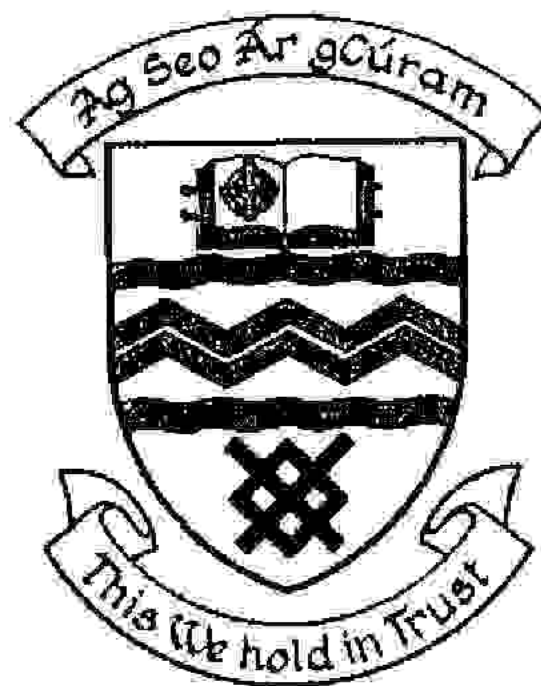
**REASON:**

To facilitate the recording and protection of any item of archaeological significance which the site may possess.

- 10 Adequate provision shall be made to facilitate access to and use of the proposed development, by disabled persons in accordance with the provisions of the Building Control Act, 1990.



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**REASON:**

To ensure that reasonable facilities are provided for the convenience of disabled persons.

- 11 All public services for the proposed development including electrical, telephone cables and equipment, shall be located underground throughout the entire site.

**REASON:**

In the interest of visual amenity.

- 12 Water supply and drainage arrangements, including the disposal of surface water, shall comply with the standards of the planning authority for such works and services.

**REASON:**

In the interest of public health, and to ensure a proper standard of development.

- 13 All necessary measures shall be taken by the developer to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of construction works.

**REASON:**

To protect the amenities of the area.

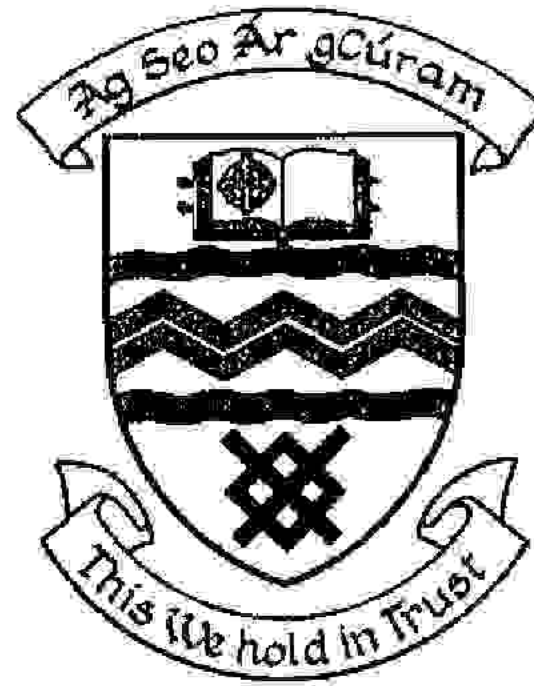
- 14 Prior to the commencement of development, a report by a qualified structural engineer or other competent person certifying the structural integrity of the existing chimney stack which it is proposed to retain, shall be submitted to the planning authority. Such report shall include details of any remedial works required to make the structure safe.

**REASON:**

In the interest of public safety.

- 15 Prior to the commencement of development, the following details shall be submitted to and agreed with the planning authority:-

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- (a) Further drawings showing the foul and surface water sewers on and adjoining the site and indicating the developer's intentions in relation to the renewal of all pipework and plant to the extent that existing works and pipelines are identified so that their use may be abandoned without giving rise to problems elsewhere.
- (b) A report, by a suitably qualified person, which will examine the implication for flows in the Camac River within the confines of the site which may be generated by extraordinary or freak weather conditions. The report shall indicate such flood control proposals for provision and maintenance of earth works, sluices, the mill pond, weirs, or other water control features which may be within the site or are necessary to be within the site in order to minimise possible damage within the site and to other riparian owners downstream. Any necessary works shall be carried out by the developer at his own expense.
- (c) A chartered engineer's report in respect of all bridges/culverts within the site whether in use or disused and including the culvert under the adjoining public road, indicating the integrity, condition and amount of maintenance required, if any, including clearance of the stream bed, and the developer's proposals for carrying out any necessary maintenance or remedial works on those structures within the site. Any such works shall be undertaken prior to the occupation of the proposed development.

**REASON:**

In the interest of public health and safety, and the proper planning and development of the area.

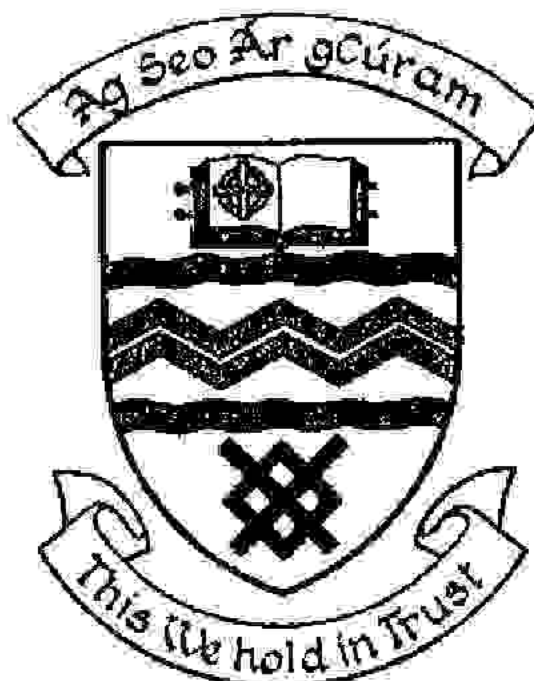
- 16 The proposed storage areas shall be used for such purposes only and shall not be used for any other purpose unless planning permission has been granted by the planning authority or by An Bord Pleanála on appeal.

**REASON:**

To enable the planning authority to assess the likely effect



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of any such change of use on the car parking arrangements  
and on traffic in the locality.

- 17 The detailed requirements of the planning authority shall be  
adhered to in relation to the following:-

FOUL SEWER

- (1) The developer shall demonstrate to the planning authority's satisfaction that all redundant plant associated with the previous activities, discharging back to the Camac River or to the foul sewer, have been removed from the foul system.
- (2) The developer shall submit details showing entirely separate drainage systems. All surface water shall be removed from the foul system.
- (3) Any manhole within buildings shall be provided with double seals and locked system.
- (4) The treatment of any redundant pipe runs shall be described and involve filling with concrete or removal.

SURFACE WATER

The capacity of the existing culvert and watercourse through the site shall be established by the developer and agreed with the planning authority.

The developer shall address the following points to the satisfaction of the planning authority.

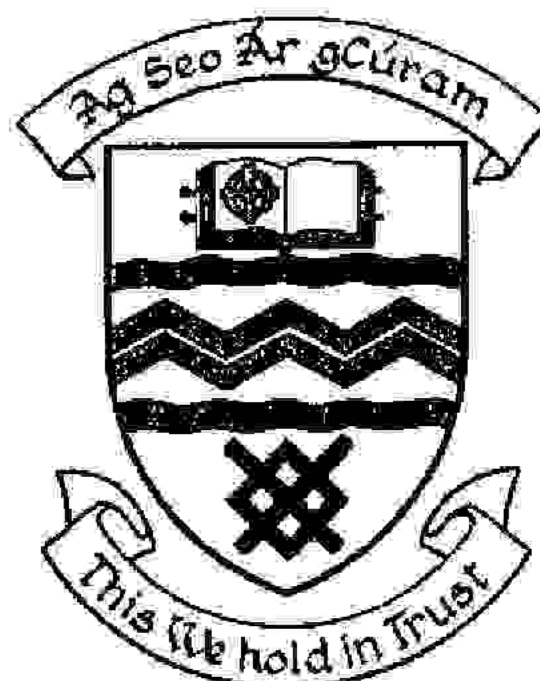
- (a) The developer shall submit full details of the method and materials to be used in spanning the open channel, demonstrating an adequate channel capacity which will not be reduced by bridging.
- (b) The developer shall indicate bed and bank levels along the Camac River within the site by reference to the Malin Head Datum.
- (c) The developer shall relate all floor levels to the Camac River bed and flood levels to show that there is no danger of flooding.



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- (d) The developer shall submit proposals for draining the north western area of the site which is low-lying.
  - (e) All surface water outlets shall be combined into a single discharge per riverbank.
  - (f) The design water outlets shall be combined into a single discharge per riverbank.
  - (g) The developer shall provide for the drainage openings and gripes which enter the site from the Beech Row Cottages.
  - (h) The developer shall provide to the satisfaction of the planning authority for the drainage pipe serving the laneway to the rear of Leinster Terrace which discharges to the Mill Pond.
  - (i) The channel of the Camac River within the car park shall be designed at low levels in such a way as to create flow across the full width of the channel for visual and odour reasons. The design of any low flow system shall take cognisance of any upstream water regimen and have sufficient capacity to cater for peak flows.
  - (j) All gullies must be trapped and shall be of precast concrete.
  - (k) All existing on site services shall not impede the proposed drainage system, in particular the rising main from the pumphouse serving C. B. Packaging.
  - (l) The developer shall demonstrate a "flood route" for flows which may be generated by extraordinary or freak weather conditions such that damage to the site and other riparian owners will be minimised.

**REASON:**

In the interest of the proper planning and development of the area.



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- 18 The developer shall pay the sum of money equivalent to the value of £28, 400 (twenty eight thousand four hundred pounds) as on 1st January, 1991 (updated at the time of payment in accordance with changes in Wholesale Price Index - Building and Construction (Capital Goods), published by the Central Statistics Office), to South Dublin County Council as a contribution towards the cost of road improvements and traffic management proposals in the area serving this site.

**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure proposed to be incurred by the Council in respect of works facilitating the proposed development.

- 19 The car parking layout to be carried out in accordance with plans lodged on 7/6/96 as unsolicited additional information. The existing unauthorised entrance out the old Nangor Road to be closed to vehicular traffic within 3 months of grant of final permission relative to this application.

All buildings must now be designed and constructed in accordance with the new Building Regulations. The Regulations also provide that a Commencement Notice must be submitted to the Building Control Authority in respect of all buildings other than exempted development for the purposes of the Local Government (Planning and Development) Acts, 1963 - 1993, not less than seven days and not more than twenty-one days before development commences. A copy of the form of commencement notice is attached.

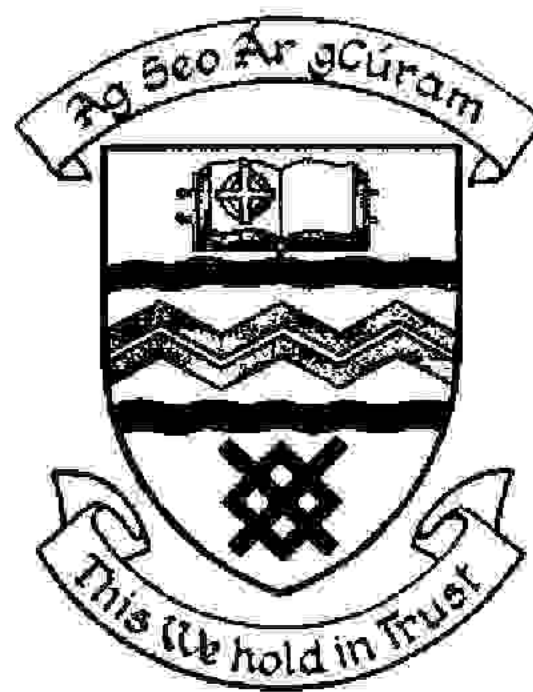
In addition, a Fire Certificate must be obtained from the Building Control Authority in respect of the erection, alteration or change of use of all buildings other than dwelling houses.

Signed on behalf of South Dublin County Council.

*[Signature]* ..... 20th August 1996  
for SENIOR ADMINISTRATIVE OFFICER



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**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

<b>Decision Order Number 0777</b>	<b>Date of Decision 29/04/96</b>
<b>Register Reference S96A/0109</b>	<b>Date 1st March 1996</b>

**Applicant Development**                      Mersada Ltd.,  
Change of use from storage to retail of the first floor.  
Alterations to previously approved south elevation,  
additional external fire escape stairs to west elevation  
and lift motor room to north/west elevation.

**Location**                                      Dunnes Stores, The Mill Centre, Clondalkin, Dublin 22.

**App. Type**                                      Permission

Dear Sir/Madam,

With reference to your planning application, received on 01/03/96 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1993, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

- 1        A schedule of the gross floor spaces of all the buildings and uses on site and the corresponding car parking requirement, together with the car parking provision for this proposed additional development.
- 2        A numbered car parking layout indicating the existing and proposed car parking which would cater adequately for the total requirement above. This plan should include circulation aisles and off street loading and unloading facilities.

Signed on behalf of South Dublin County Council

.....*LB*.....  
for Senior Administrative Officer

29/04/96

Project Architects,  
Fleming Court,  
Flemings Place,  
Dublin 4.