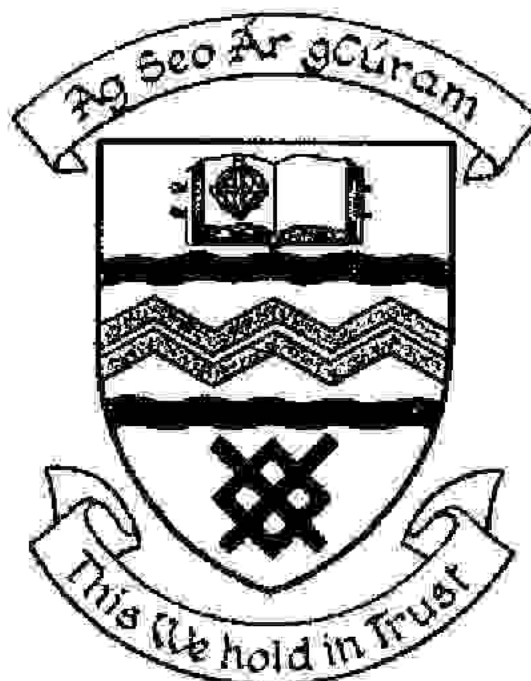


SOUTH DUBLIN COUNTY COUNCIL COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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PLANNING
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Dublin 24.

Telephone: 01-462 0000
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James Smyth Architects,
Owenstown House,
Fosters Avenue,
Blackrock,
Co. Dublin.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 1950	Date of Final Grant 04/10/96
Decision Order Number 1627	Date of Decision 21/08/96
Register Reference S96A/0255	Date 6th June 1996

Applicant Green Property Plc.,

Development Modifications to previously approved planning application Reg. Ref. 90A/0970 including increased heights, revised elevations, reduction in internal office space, provision of ESB sub-station and 3 no. silo tanks and related site works.

Location Unit 7, Westgate Business Park, Ballymount Road, Dublin 24.

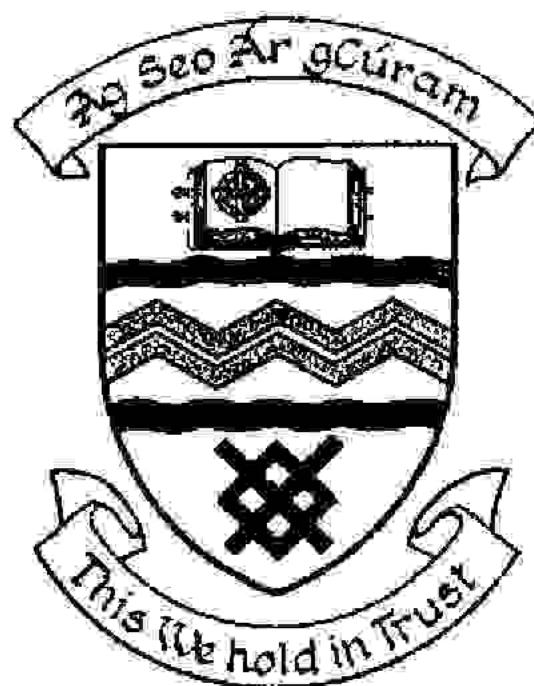
Floor Area 2828.000 Sq Metres

Time extension(s) up to and including 23/08/96

Additional Information Requested/Received 27/05/96 /06/06/96

A Permission has been granted for the development described above,
subject to the following (10) Conditions.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by unsolicited additional information received on 13.8.96, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission.

- 2 That the requirements of the Supervising Environmental Health Officer be ascertained and complied with in the development.
REASON:
In the interest of health.

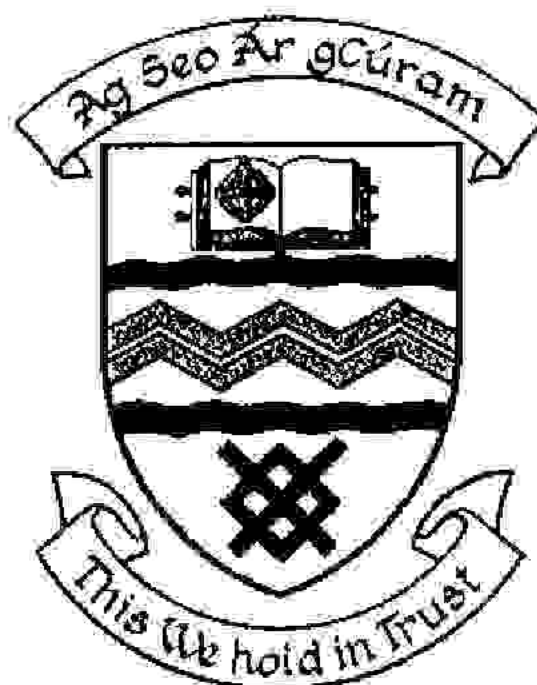
- 3 That the requirements of the Chief Fire Officer be ascertained and complied with in the development.
REASON:
In the interest of safety.

- 4 That the use of the units shall be for light industrial/warehousing and that any change of use from that shall be subject to the approval of the Planning Authority or An Bord Pleanála on appeal.
REASON:
In the interest of the proper planning and development of the area.

- 5 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council.
REASON:
In order to comply with the Sanitary Services Acts, 1878 - 1964.

- 6 That no industrial effluent be permitted without prior approval from Planning Authority.

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REASON:

In the interest of health.

- 7 That Condition No. 9 of planning permission granted under Reg. Ref. 90A/0970 be complied with in this development:
- a. the location of an insitu concrete manhole where the main outfall is closest to factory no. 7.
 - b. the location of factory no. 7 to give a 4m distance from the sewer or the removal of a triangular portion of the building to achieve the 4m distance.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 8 That landscaping works and maintenance shall be carried out to the satisfaction of the Parks Department of the County Council prior to occupancy of the premises at unit 7. Details of maintenance shall be submitted to and agreed with the Planning Authority prior to occupancy of the premises.

REASON:

In the interest of the proper planning and development of the area.

- 9 That the colour and external finishes of the proposed silos shall match/harmonise with that of the building to which they are attached to unit 7.

REASON:

In the interest of the proper planning and development of the area.

- 10 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanala on appeal.

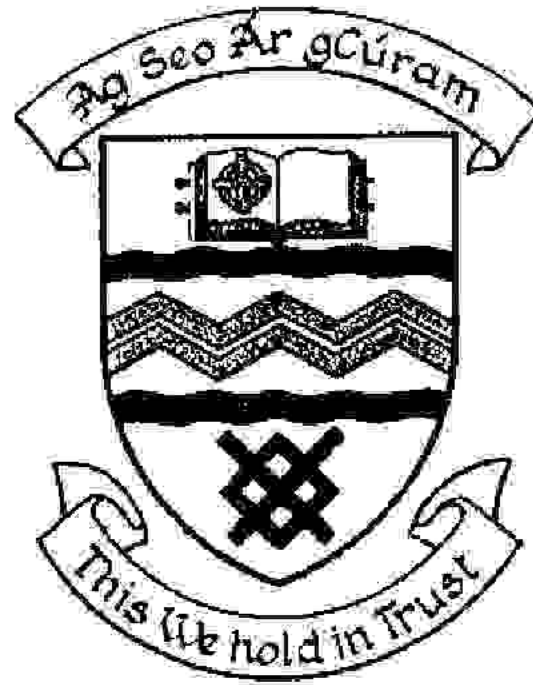
REASON:

In the interest of the proper planning and development of the area.

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All buildings must now be designed and constructed in accordance with the new Building Regulations. The Regulations also provide that a Commencement Notice must be submitted to the Building Control Authority in respect of all buildings other than exempted development for the purposes of the Local Government (Planning and Development) Acts, 1963 - 1993, not less than seven days and not more than twenty-one days before development commences. A copy of the form of commencement notice is attached.

In addition, a Fire Certificate must be obtained from the Building Control Authority in respect of the erection, alteration or change of use of all buildings other than dwelling houses.

Signed on behalf of South Dublin County Council.

Blair Connolly..... 14th October 1996
for SENIOR ADMINISTRATIVE OFFICER