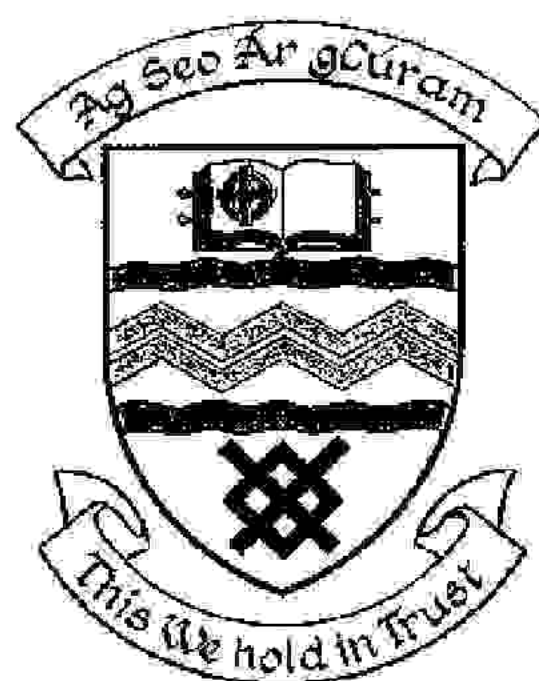


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S97A/0165
1. Location	South sides of Knockmeenagh Lane and Monastery Road, Clondalkin, Dublin 22.	
2. Development	Warehouse and ancillary offices.	
3. Date of Application	24/03/97	Date Further Particulars (a) Requested (b) Received
3a. Type of Application	Permission	1. 2.
4. Submitted by	Name: Siac Construction Ltd., Address: Clondalkin, Dublin 22.	
5. Applicant	Name: Siac Construction Ltd., Address: Clondalkin, Dublin 22.	
6. Decision	O.C.M. No. 0967 Date 22/05/97	Effect AP GRANT PERMISSION
7. Grant	O.C.M. No. 1303 Date 03/07/97	Effect AP GRANT PERMISSION
8. Appeal Lodged		
9. Appeal Decision		
10. Material Contravention		
11. Enforcement	Compensation	Purchase Notice
0	0	0
12. Revocation or Amendment		
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14. Registrar Date Receipt No.

REG REF. S97A/0165 **SOUTH DUBLIN COUNTY COUNCIL**
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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Siac Construction Ltd.,
Clondalkin,
Dublin 22.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 1303	Date of Final Grant 03/07/97
Decision Order Number 0967	Date of Decision 22/05/97
Register Reference S97A/0165	Date 24th March 1997

Applicant Siac Construction Ltd.,

Development Warehouse and ancillary offices.

Location South sides of Knockmeenagh Lane and Monastery Road,
Clondalkin, Dublin 22.

Floor Area 1688.000 Sq Metres

Time extension(s) up to and including

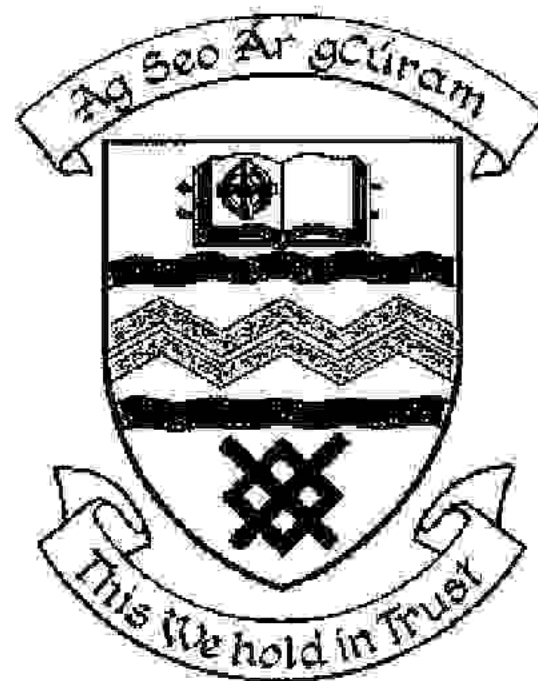
Additional Information Requested/Received /

A Permission has been granted for the development described above,
subject to the following (24) Conditions.

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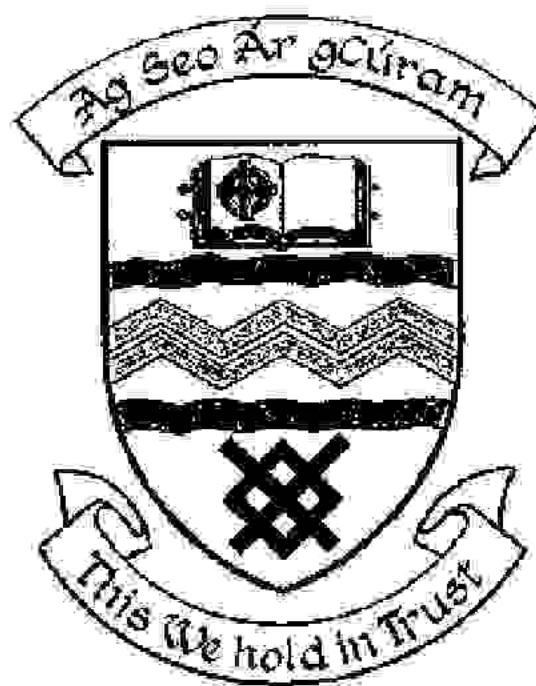
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.
REASON:
 To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 The office content of the proposed development shall be ancillary to the use of the building for warehousing purposes.
REASON:
 In the interests of the proper planning and development of the area.
- 3 This planning permission does not imply or infer of the Planning Authority for the granting of permission or otherwise for that part of the site marked "possible future extension" on the site layout plan submitted with the application
REASON:
 In the interests of clarity.
- 4 Details of external finishes and colours including roof materials shall be submitted to and be to the satisfaction of the Planning Authority prior to the commencement of development.
REASON:
 In the interests of the proper planning and development of the area.
- 5 Prior to the commencement of development a detailed landscaping and planting scheme shall be submitted to and be to the satisfaction of the Planning Authority. All landscaping and planting shall be undertaken not later than the first planting season following the first use of any part of the proposed development. Those areas of the site shown on the submitted drawings as landscaped or planted areas shall be laid out and retained as such.
REASON:
 In the interests of visual amenity.
- 6 Signage to the proposed building shall be limited to that area on the front elevation as marked on the drawings

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submitted with the application. Signage shall take the form of individually mounted letters which, if illuminated, shall be back-lit only.

REASON:

In the interests of the control of advertising with respect to the visual amenities of the area.

- 7 The proposed mild steel fence on brick stubb wall shall not exceed an overall height of 2.4 metres. The fence shall continue along the full length of the northern boundary to the site (Knockmeenagh Lane). The fence shall be of a decorative type and shall be finished with a neutral colour.

REASON:

In the intrests of visual amenity.

- 8 The existing bridge structure and arch at the north-western corner of the site shall be protected by a robust post and rail fence during the course of construction and shall be exposed and retained thereafter. The access to the structure may be blocked up using decorative railings only.

REASON:

In the interest of the proper planning and development of the area.

- 9 That the developer shall facilitate the Office of Public Works in the safeguarding of any items of archaeological significance which the site may possess. In this regard, the developer shall notify National Monuments Branch of the office of Public Works in writing in advance of commencement of works on site, i.e., 4 weeks before work commences to facilitate archaeological appraisal of the site during the digging of foundations and the laying of utility services on the site.

REASON:

In the interest of the proper planning and development of the area.

- 10 Trucks or other such vehicles shall not be parked forward of the southern, or eastern elevations of the proposed building. No goods or other materials shall be left, kept, stored or displayed outside of the proposed building itself.

REASON:

In the interests of the proper planning and development of the area and visual amenity.

- 11 Circulation and car parking areas shall be surfaced with a hardwearing, dust free and durable material. In

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addition car parking bays shall be clearly delineated using a durable lining material.

REASON:

In the interests of the proper planning and development of the area.

- 12 The north-eastern boundary of the site shall be set back to facilitate the provision of a roundabout including footpaths, sight-lines and other ancillary requirements. The line of the new boundary fence shall be submitted to and be to the satisfaction of the Planning Authority prior to the commencement of development. The new fence line shall be set out on site under the supervision of the Planning Authority (Roads Department).

REASON:

In the interest of the proper planning and development of the area.

- 13 The widening of the link road and the provision of the footpath on the eastern site frontage shall be undertaken to South Dublin County Council standards and at the applicant's expense. The works shall be completed prior to the first use of any part of the proposed development.

REASON:

In the interests of the proper planning and development of the area.

- 14 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council.

REASON:

In order to comply with the Sanitary Services Acts, 1878 - 1964.

- 15 That no industrial effluent be permitted without prior approval from Planning Authority.

REASON:

In the interest of health.

- 16 That off-street car parking facilities and parking for trucks be provided in accordance with the Development Plan Standards.

REASON:

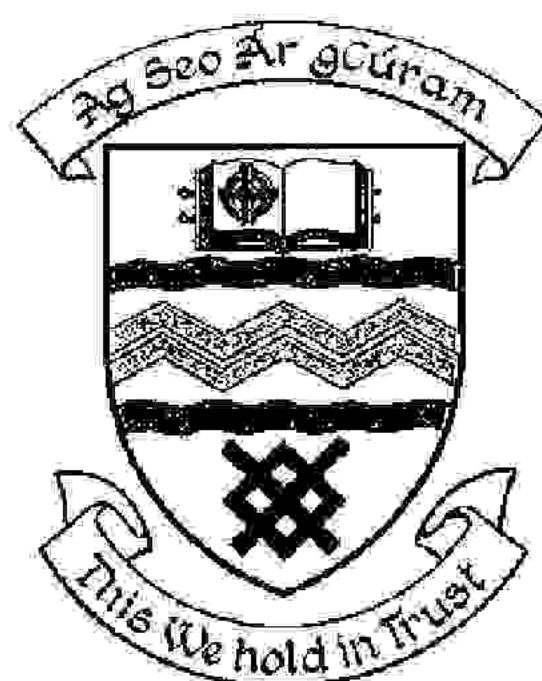
In the interest of the proper planning and development of the area.

- 17 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other

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debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 18 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON:

In the interest of amenity.

- 19 That a financial contribution in the sum of money equivalent to the value of £10,600 (ten thousand six hundred pounds) as on 1st January, 1991, updated in accordance with the Wholesale Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 20 That a financial contribution in the sum of £6,600 (six thousand six hundred pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

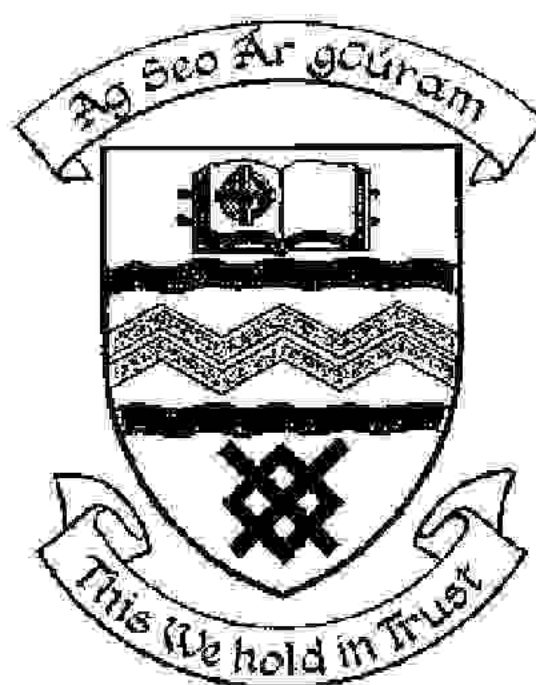
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 21 That in relation to foul drainage proposed:-

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- a) The applicant to arrange with the Area Engineer, Deansrath Depot a pumping schedule to coincide with off-peak times in relation to other pump stations discharging into the relevant manhole;
- b) Connection of rising main into the manhole to be arranged with the Drainage Operations Department, South Dublin County Council;
- c) Details of duty and standby pumps to be provided;
- d) A suitable alarm system to be provided;
- e) Adequate storage capacity to be provided in the pump installation to allow for possible power failure;
- f) Applicant to enter into a maintenance contract with the suppliers of the pumping system.

REASON:

In order to comply with the Sanitary Services Acts 1878-1964 and in the interest of public health.

- 22 In relation to surface water drainage the applicant shall submit evidence of the written permission of the Roads Department, South Dublin County Council to connect into roads surface water pipe.

REASON:

To comply with the requirements of the Roads Department.

- 23 That a financial contribution be paid by the proposer to South Dublin County Council towards the provision of extra surface water drainage capacity in the area of the proposed development and which facilitate the proposed development. This contribution to be paid before the commencement of development on the site. The amount of the levy to be based on the proposers share of the capacity in the sewer having regard to the existing and other proposed developments in the area, and on design calculations, and to be agreed prior to commencement of the proposed development.

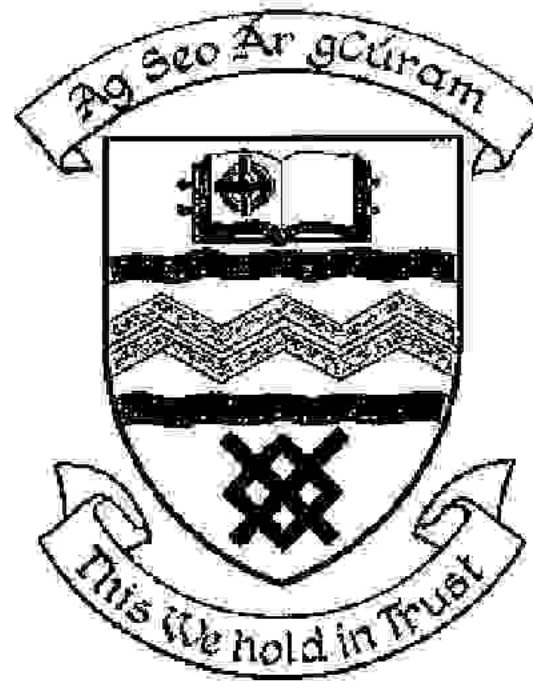
REASON:

The provision of such services in the area by the council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

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- 24 In relation to water supply prior to any development commencing on the site the applicant shall submit full details of the proposed water supply to serve the development proposed. It should be noted that there is no existing watermain adjacent to the site of the proposed development, the nearest existing main is a cast iron 6" pipe located on Monastery Road.

REASON:

To comply with the Sanitary Services Acts 1878-1964 in the interest of public health.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1991 amended 1994.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

..... *[Signature]* 31 July 1997
for SENIOR ADMINISTRATIVE OFFICER

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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 0967	Date of Decision 22/05/97
Register Reference S97A/0165	Date 24th March 1997

Applicant	Siac Construction Ltd.,
Development	Warehouse and ancillary offices.
Location	South sides of Knockmeenagh Lane and Monastery Road, Clondalkin, Dublin 22.
Floor Area	Sq Metres
Time extension(s) up to and including	
Additional Information Requested/Received	/

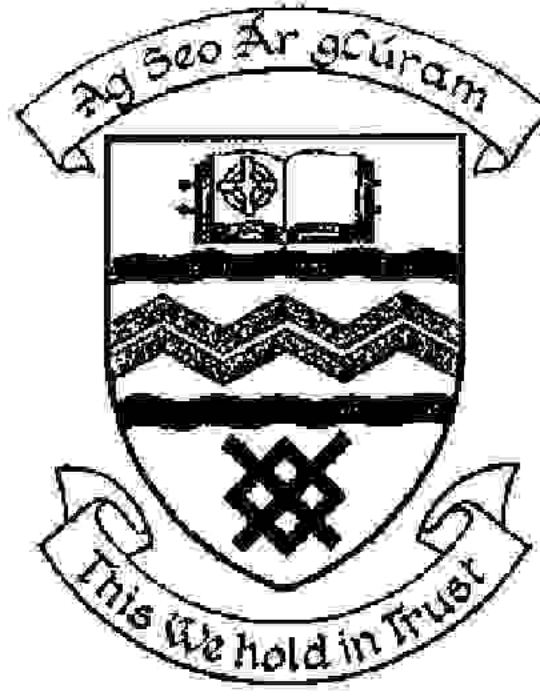
In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a **DECISION TO GRANT PERMISSION** in respect of the above proposal.

subject to the conditions (24) on the attached Numbered Pages.
signed on behalf of the South Dublin County Council.

.....LB..... 22/05/97
for SENIOR ADMINISTRATIVE OFFICER

Siac Construction Ltd.,
Clondalkin,
Dublin 22.

SOUTH DUBLIN COUNTY COUNCIL
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 The office content of the proposed development shall be ancillary to the use of the building for warehousing purposes.

REASON:

In the interests of the proper planning and development of the area.

- 3 This planning permission does not imply or infer of the Planning Authority for the granting of permission or otherwise for that part of the site marked "possible future extension" on the site layout plan submitted with the application

REASON:

In the interests of clarity.

- 4 Details of external finishes and colours including roof materials shall be submitted to and be to the satisfaction of the Planning Authority prior to the commencement of development.

REASON:

In the interests of the proper planning and development of the area.

- 5 Prior to the commencement of development a detailed landscaping and planting scheme shall be submitted to and be to the satisfaction of the Planning Authority. All landscaping and planting shall be undertaken not later than the first planting season following the first use of any

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part of the proposed development. Those areas of the site shown on the submitted drawings as landscaped or planted areas shall be laid out and retained as such.

REASON:

In the interests of visual amenity.

- 6 Signage to the proposed building shall be limited to that area on the front elevation as marked on the drawings submitted with the application. Signage shall take the form of individually mounted letters which, if illuminated, shall be back-lit only.

REASON:

In the interests of the control of advertising with respect to the visual amenities of the area.

- 7 The proposed mild steel fence on brick stubb wall shall not exceed an overall height of 2.4 metres. The fence shall continue along the full length of the northern boundary to the site (Knockmeenagh Lane). The fence shall be of a decorative type and shall be finished with a neutral colour.

REASON:

In the intrests of visual amenity.

- 8 The existing bridge stucture and arch at the north-western corner of the site shall be protected by a robust post and rail fence during the course of construction and shall be exposed and retained thereafter. The access to the structure may be blocked up using decorative railings only.

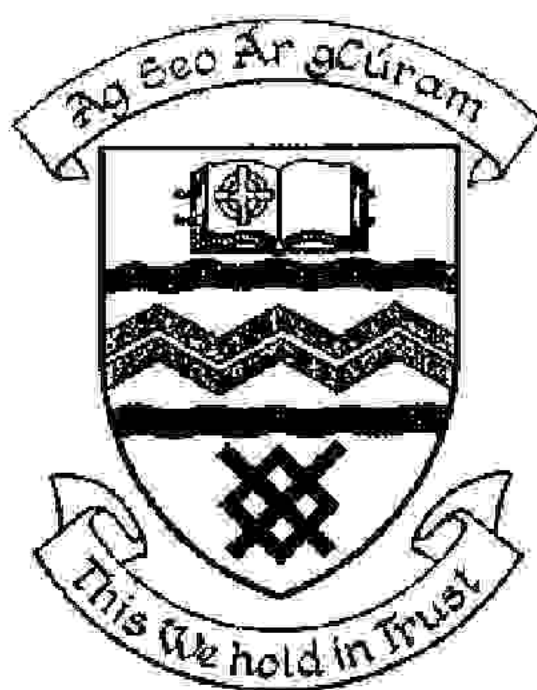
REASON:

In the interest of the proper planning and development of the area.

- 9 That the developer shall facilitate the Office of Public Works in the safeguarding of any items of archaeological significance which the site may possess. In this regard, the developer shall notify National Monuments Branch of the Office of Public Works in writing in advance of commencement of works on site, i.e., 4 weeks before work commences to facilitate archaeological appraisal of the site during the digging of foundations and the laying of utility services on the site.

REASON:

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In the interest of the proper planning and development of the area.

- 10 Trucks or other such vehicles shall not be parked forward of the southern, or eastern elevations of the proposed building. No goods or other materials shall be left, kept, stored or displayed outside of the proposed building itself.

REASON:

In the interests of the proper planning and development of the area and visual amenity.

- 11 Circulation and car parking areas shall be surfaced with a hardwearing, dust free and durable material. In addition car parking bays shall be clearly delineated using a durable lining material.

REASON:

In the interests of the proper planning and development of the area.

- 12 The north-eastern boundary of the site shall be set back to facilitate the provision of a roundabout including footpaths, sight-lines and other ancillary requirements. The line of the new boundary fence shall be submitted to and be to the satisfaction of the Planning Authority prior to the commencement of development. The new fence line shall be set out on site under the supervision of the Planning Authority (Roads Department).

REASON:

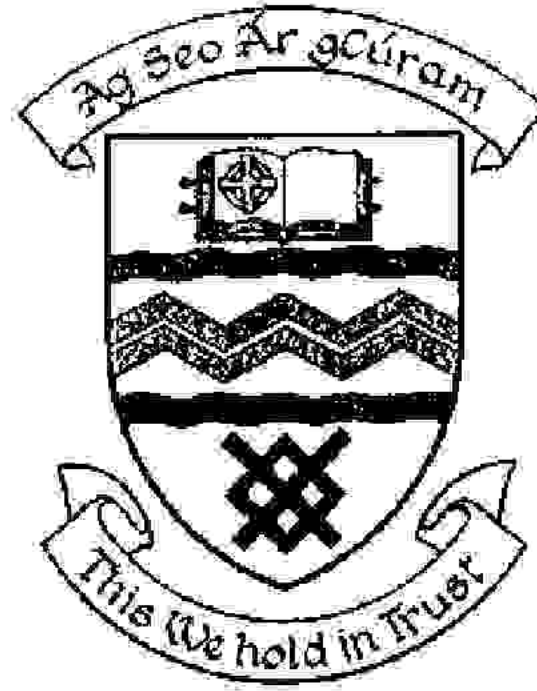
In the interest of the proper planning and development of the area.

- 13 The widening of the link road and the provision of the footpath on the eastern site frontage shall be undertaken to South Dublin County Council standards and at the applicant's expense. The works shall be completed prior to the first use of any part of the proposed development.

REASON:

In the interests of the proper planning and development of the area.

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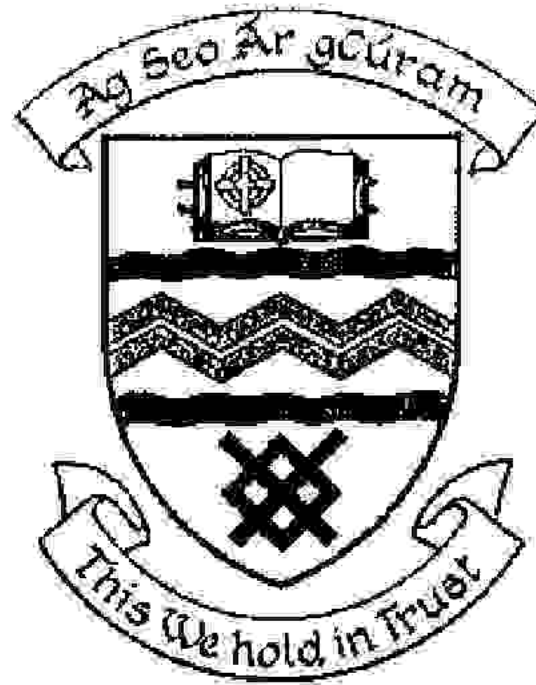
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REG. REF. S97A/0165

- 14 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council.
REASON:
In order to comply with the Sanitary Services Acts, 1878 - 1964.
- 15 That no industrial effluent be permitted without prior approval from Planning Authority.
REASON:
In the interest of health.
- 16 That off-street car parking facilities and parking for trucks be provided in accordance with the Development Plan standards.
REASON:
In the interest of the proper planning and development of the area.
- 17 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 18 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
REASON:
In the interest of amenity.
- 19 That a financial contribution in the sum of money equivalent to the value of £10,600 (ten thousand six hundred pounds) as on 1st January, 1991, updated in accordance with the Wholesale Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of

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development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 20 That a financial contribution in the sum of £6,600 (six thousand six hundred pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

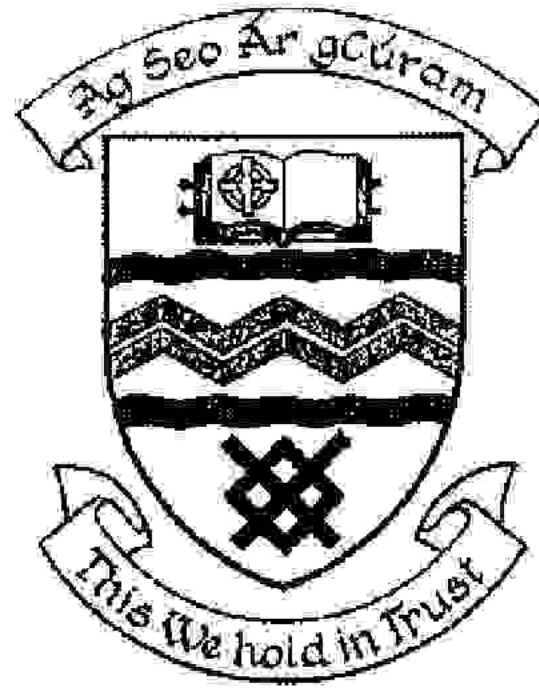
REASON:

The provision of such services in the area by the council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 21 That in relation to foul drainage proposed:-

- a) The applicant to arrange with the Area Engineer, Deansrath Depot a pumping schedule to coincide with off-peak times in relation to other pump stations discharging into the relevant manhole;
- b) Connection of rising main into the manhole to be arranged with the Drainage Operations Department, South Dublin County Council;
- c) Details of duty and standby pumps to be provided;
- d) A suitable alarm system to be provided;
- e) Adequate storage capacity to be provided in the pump installation to allow for possible power failure;

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REG. REF. S97A/0165

- f) Applicant to enter into a maintenance contract with the suppliers of the pumping system.

REASON:

In order to comply with the Sanitary Services Acts 1878-1964 and in the interest of public health.

- 22 In relation to surface water drainage the applicant shall submit evidence of the written permission of the Roads Department, South Dublin County Council to connect into roads surface water pipe.

REASON:

To comply with the requirements of the Roads Department.

- 23 That a financial contribution be paid by the proposer to South Dublin County Council towards the provision of extra surface water drainage capacity in the area of the proposed development and which facilitate the proposed development. This contribution to be paid before the commencement of development on the site. The amount of the levy to be based on the proposers share of the capacity in the sewer having regard to the existing and other proposed developments in the area, and on design calculations, and to be agreed prior to commencement of the proposed development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 24 In relation to water supply prior to any development commencing on the site the applicant shall submit full details of the proposed water supply to serve the development proposed. It should be noted that there is no existing watermain adjacent to the site of the proposed development, the nearest existing main is a cast iron 6" pipe located on Monastery Road.

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REASON:

To comply with the Sanitary Services Acts 1878-1964 in the
interest of public health.

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S97A/0165	
1. Location	South sides of Knockmeenagh Lane and Monastery Road, Clondalkin, Dublin 22.		
2. Development	Warehouse and ancillary offices.		
3. Date of Application	24/03/97	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Siac Construction Ltd., Address: Clondalkin, Dublin 22.		
5. Applicant	Name: Siac Construction Ltd., Address: Clondalkin, Dublin 22.		
6. Decision	O.C.M. No. Date	Effect	
7. Grant	O.C.M. No. Date	Effect	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement	Compensation	Purchase Notice	
0	0	0	
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar Date Receipt No.	