

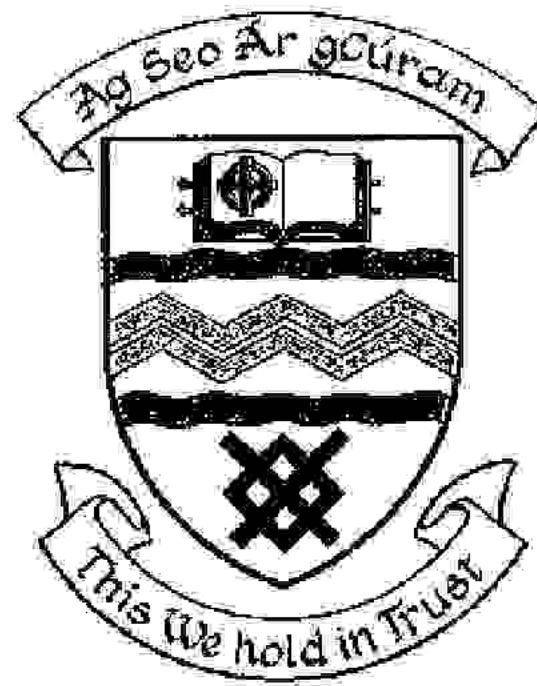
	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No.  S97A/0166	
1. Location	291 Templeogue Road, Dublin 6W.		
2. Development	Single storey rear extension for offices, toilets and stores.		
3. Date of Application	25/03/97	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1.  2.	1.  2.
4. Submitted by	Name: Philip J. Staunton Architects, Address: 46 Grafton Street, Dublin 2.		
5. Applicant	Name: J.J.M. Holdings Ltd., Address: 291 Templeogue Road, Dublin 6W.		
6. Decision	O.C.M. No.  Date	Effect	
7. Grant	O.C.M. No.  Date	Effect	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement	Compensation	Purchase Notice	
0	0	0	
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. .... Registrar	..... Date	..... Receipt No.	

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5. Applicant	Name: J.J.M. Holdings Ltd., Address: 291 Templeogue Road, Dublin 6W.	
6. Decision	O.C.M. No. 0971  Date 22/05/97	Effect AP GRANT PERMISSION
7. Grant	O.C.M. No. 1303  Date 03/07/97	Effect AP GRANT PERMISSION
8. Appeal Lodged		
9. Appeal Decision		
10. Material Contravention		
11. Enforcement	Compensation	Purchase Notice
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**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

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Philip J. Staunton Architects,  
46 Grafton Street,  
Dublin 2.

**NOTIFICATION OF GRANT OF Permission****LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

<b>Final Grant Order Number</b> 1303	<b>Date of Final Grant</b> 03/07/97
<b>Decision Order Number</b> 0971	<b>Date of Decision</b> 22/05/97
<b>Register Reference</b> S97A/0166	<b>Date</b> 25th March 1997

**Applicant** J.J.M. Holdings Ltd.,

**Development** Single storey rear extension for offices, toilets and stores.

**Location** 291 Templeogue Road, Dublin 6W.

**Floor Area** 81.000 **Sq Metres**

**Time extension(s)** up to and including

**Additional Information Requested/Received** /

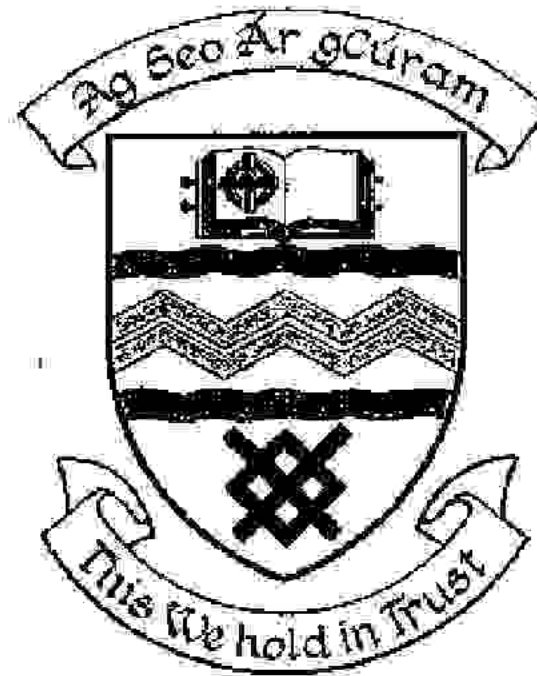
A Permission has been granted for the development described above,  
subject to the following (10) Conditions.



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**Conditions and Reasons**

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, and as clarified by additional information received on 21.05.1997, save as may be required by the other conditions attached hereto.  
**REASON:**  
 To ensure that the development shall be in accordance with the permission and that effective control be maintained.
  
- 2 Prior to the commencement of development the existing unauthorised container on site shall be removed.  
**REASON:**  
 In the interest of the proper planning and development of the area.
  
- 3 That the east facing gable wall which is visible from the public road shall be made good and in this regard
  - \* all signage shall be removed;
  - \* and the area fronting this gable wall shall be suitably landscaped and finished in a manner that will integrate with the streetscape. Details to be agreed in writing prior to commencement of development.
  
- 4 Notwithstanding the provisions of the Local Government (Planning and Development) Regulations, 1994 no change of use including subdivision shall be made unless a planning permission for such is granted by the Planning Authority or by An Bord Pleanála on appeal.  
**REASON:**  
 In the interest of the proper planning and development of the area.
  
- 5 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.  
**REASON:**  
 In the interest of safety and the avoidance of fire hazard.

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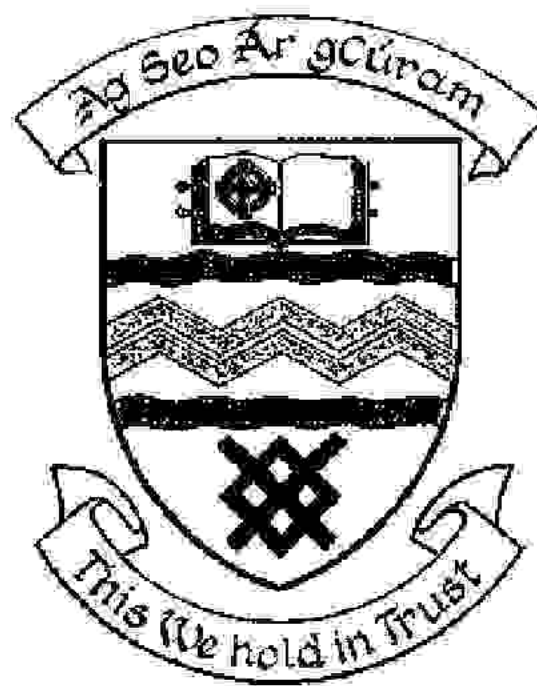
- 6 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.  
 REASON:  
 In the interest of health.
- 7 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council and in this regard the applicant to submit an acceptable proposal ensuring full and proper separation of foul and surface water system, prior to commencement of development.  
 REASON:  
 In order to comply with the Sanitary Services Acts, 1878 - 1964.
- 8 Notwithstanding the provisions of the Local Government (Planning and Development) Regulations, 1994, any additional signage to the premises shall be subject to planning permission.  
 REASON:  
 In the interest of the proper planning and development of the area.
- 9 That a financial contribution in the sum of £654 (six hundred and fifty four pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.  
 REASON:  
 The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 10 That a financial contribution in the sum of money equivalent to the value of £2,400 (two thousand four hundred pounds) as on 1st January, 1991, updated in accordance with the Wholesale Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the



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proposed development and which facilitate this development;  
this contribution to be paid before the commencement of  
development on the site.

REASON:

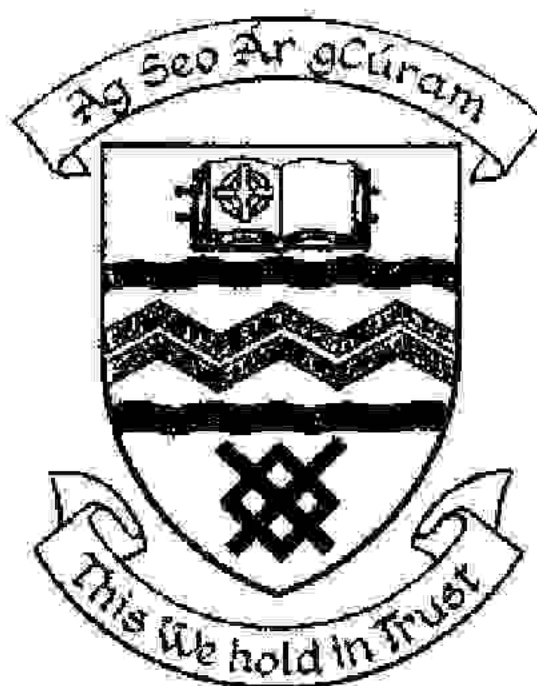
It is considered reasonable that the developer should  
contribute towards the expenditure that was incurred and/or  
that is proposed to be incurred by the Council on road  
improvement works and traffic management schemes  
facilitating the proposed development.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1991 amended 1994.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

  
..... 3 July 1997  
for SENIOR ADMINISTRATIVE OFFICER

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**NOTIFICATION OF DECISION TO GRANT PERMISSION  
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

Decision Order Number 0971	Date of Decision 22/05/97
Register Reference S97A/0166	Date 25th March 1997

**Applicant** J.J.M. Holdings Ltd.,

**Development** Single storey rear extension for offices, toilets and stores.

**Location** 291 Templeogue Road, Dublin 6W.

**Floor Area** Sq Metres

**Time extension(s)** up to and including

**Additional Information Requested/Received** /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order dated as above make a **DECISION TO GRANT PERMISSION** in respect of the above proposal.

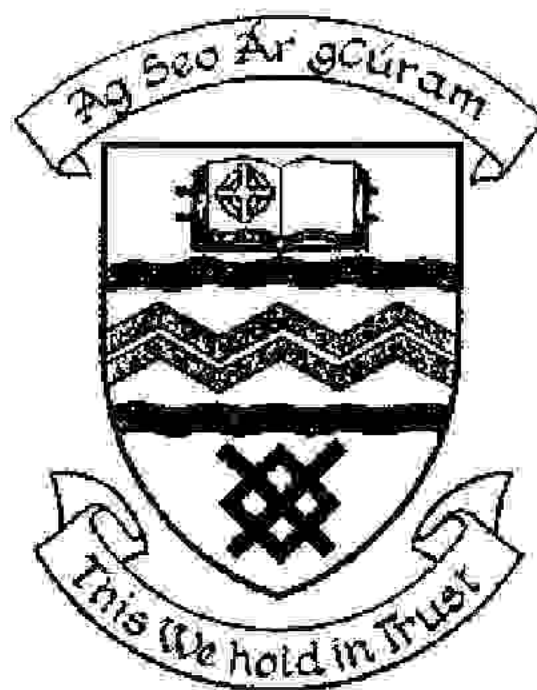
subject to the conditions ( 10 ) on the attached Numbered Pages.  
Signed on behalf of the South Dublin County Council.

.....  
for SENIOR ADMINISTRATIVE OFFICER

22/05/97

Philip J. Staunton Architects,  
46 Grafton Street,  
Dublin 2.

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Conditions and Reasons

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REASON:  
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 Prior to the commencement of development the existing unauthorised container on site shall be removed.  
REASON:  
In the interest of the proper planning and development of the area.
- 3 That the east facing gable wall which is visible from the public road shall be made good and in this regard
  - \* all signage shall be removed;
  - \* and the area fronting this gable wall shall be suitably landscaped and finished in a manner that will integrate with the streetscape. Details to be agreed in writing prior to commencement of development.
- 4 Notwithstanding the provisions of the Local Government (Planning and Development) Regulations, 1994 no change of use including subdivision shall be made unless a planning permission for such is granted by the Planning Authority or by An Bord Pleanála on appeal.  
REASON:  
In the interest of the proper planning and development of the area.



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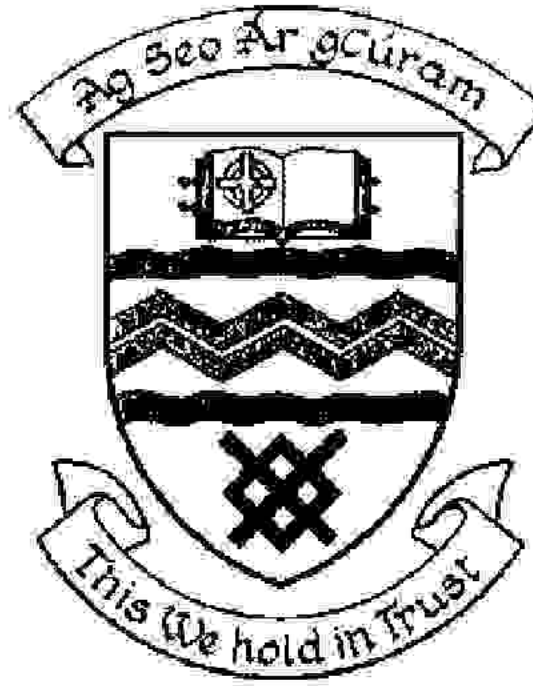


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REASON:  
The provision of such services in the area by the Council

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will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

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REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.