

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S97A/0168	
1. Location	Site A, Gallanstown, New Nangor - Fox & Geese Road, Clondalkin, Dublin 22.		
2. Development	9 general industrial units, in 4 separate blocks, E.S.B. sub station, security booth, site roadways, paved service areas, car park and new boundary fence.		
3. Date of Application	26/03/97	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 22/05/97 2.	1. 13/06/97 2.
4. Submitted by	Name: David Madden & Associates, Address: 4 Merrion Square, Dublin 2.		
5. Applicant	Name: Averland Ltd., Address: Milltown Pass, Mullingar, Co. Westmeath.		
6. Decision	O.C.M. No. 1600 Date 11/08/97	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 1958 Date 29/09/97	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal
14. Registrar Date Receipt No.	

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David Madden & Associates,
4 Merrion Square,
Dublin 2.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 1958	Date of Final Grant 29/09/97
Decision Order Number 1600	Date of Decision 11/08/97
Register Reference S97A/0168	Date 13th June 1997

Applicant Averland Ltd.,

Development 9 general industrial units, in 4 separate blocks, E.S.B. sub station, security booth, site roadways, paved service areas, car park and new boundary fence.

Location Site A, Gallanstown, New Nangor - Fox & Geese Road, Clondalkin, Dublin 22.

Floor Area 10780.000 Sq Metres

Time extension(s) up to and including

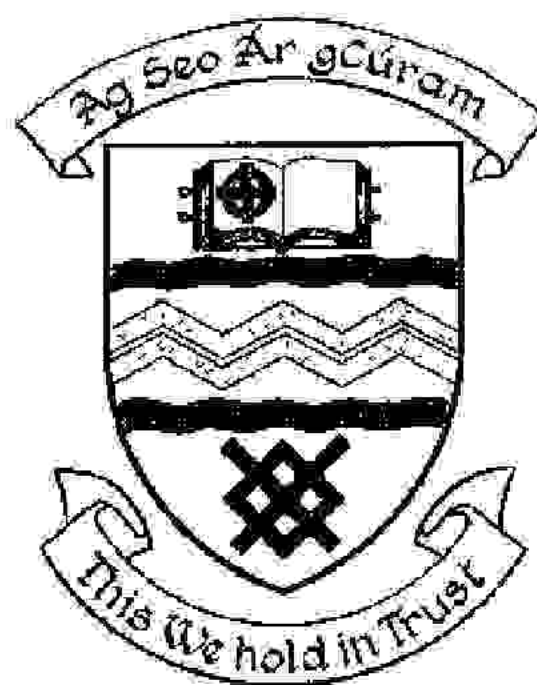
Additional Information Requested/Received 22/05/97 /13/06/97

A Permission has been granted for the development described above,
subject to the following (24) conditions.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application and as amended by additional information received on 13th June 1997, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.
REASON:
In the interest of safety and the avoidance of fire hazard.
- 3 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.
REASON:
In the interest of health.
- 4 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council.
REASON:
In order to comply with the Sanitary Services Acts, 1878 - 1964.
- 5 The applicant to discuss and agree details of connection to existing 1350mm foul sewer with the Environmental Services Department of the Planning Authority prior to commencement of development. (It is not possible to connect in at invert level). All details to be agreed in writing with the Planning Authority prior to commencement of development.
REASON:
In the interest of the proper planning and development of the area.

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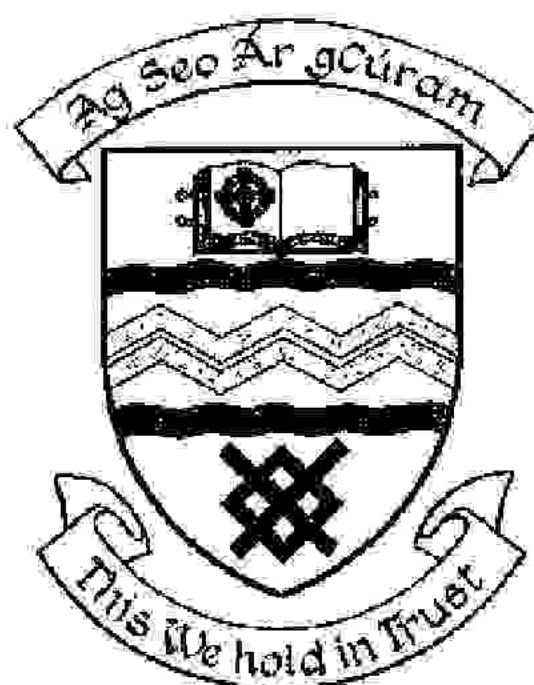
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-
- 6 In respect of surface water drainage the applicant shall provide a petrol interceptor within the site boundaries and the type of interceptor shall be to the requirements of the Environmental Services Department of the Planning Authority.
REASON:
In the interest of public health.
- 7 In respect of water supply all metered connections, tapping, etc. to be made by South Dublin County Council at the applicants expense.
REASON:
In the interest of the proper planning and development of the area.
- 8 No part of proposed units to be within 5m of existing sewers or watermains.
REASON:
In the interest of the proper planning and development of the area.
- 9 That no industrial effluent be permitted without prior approval from Planning Authority.
REASON:
In the interest of health.
- 10 That off-street car parking facilities and parking for trucks be provided in accordance with the Development Plan standards and in this regard the applicant should submit to the Planning Authority details on plan showing allocation of car park spaces to respective units.
REASON:
In the interest of the proper planning and development of the area and to clarify car parking allocation in the event of the proposals.
- 11 That the area between the building and roads must not be used for truck parking or other storage or display purposes, but must be reserved for car parking and landscaping as

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shown on lodged plans.

REASON:

In the interest of the proper planning and development of the area.

- 12 The car parking area indicated on the submitted site layout plan shall be clearly marked out and available at all times for car parking use and shall not be sold for storage or display or other uses.

REASON:

In the interest of the proper planning and development of the area.

- 13 That the developer shall not interfere with the stability or drainage system of the canal and all construction works in so far as they may affect the canal shall be carried out in consultation with the Department of Arts, Culture and the Gaeltacht.

REASON:

In the interest of public safety and to accord with the objectives for preservation of the canal corridor.

- 14 That all landscaping and planting shall be completed to the satisfaction of the Planning Authority prior to occupation of units.

REASON:

In the interest of the proper planning and development of the area.

- 15 Notwithstanding the provisions of the Local Government (Planning and Development) Regulations 1994-1997 there shall be no outdoor storage without the prior grant of approval of the Planning Authority or An Bord Pleanála on appeal.

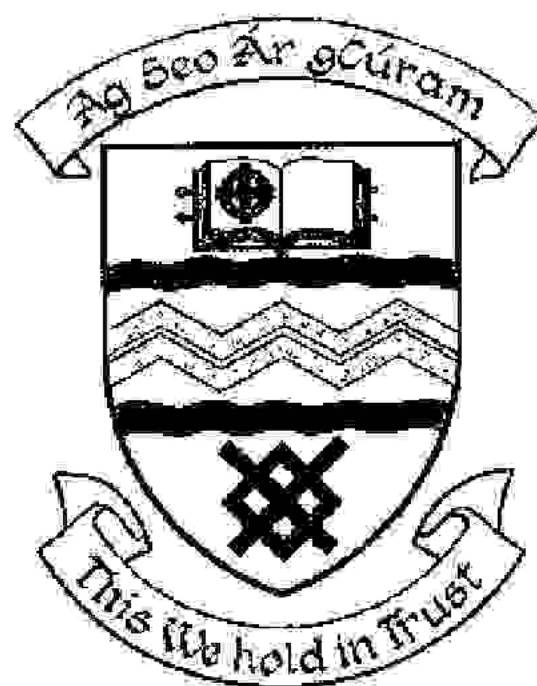
REASON:

In the interest of orderly development.

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- 16 In respect of boundary treatment the site shall be bound by a dwarf wall and railings, with the exception of the northern boundary where it bounds with the canal which shall be provided with a high quality decorative railing. Details of design, materials and finish shall be agreed in writing with the Planning Authority prior to commencement of development.

REASON:

In the interest of visual amenity and in the interest of proper planning and development of an area for which it is an objective to provide for recreational amenities.

- 17 That the existing hedgerow shall be maintained as indicated in the submitted plans and shall be adequately screened during construction works and any interference shall be subject to written agreement with the Department of Arts, Culture and Gaeltacht and the Planning Authority.

REASON:

In the interest of visual amenity as to accord with the objective to protect an area of scientific interest to which this hedge relates.

- 18 That the pedestrian accesses from the site onto the canal shall be open during office hours to enable employees reasonable access to and enjoyment of the canal bank.

REASON:

In the interest of amenities of the area and in the interest of proper planning and development of the area for which it is an objective to provide for recreational amenities.

- 19 That the materials colour and finish of all units and structures shall be harmonious and all details shall be agreed with the Planning Authority prior to commencement of development.

REASON:

In the interest of visual amenity and the proper planning and development of the area.

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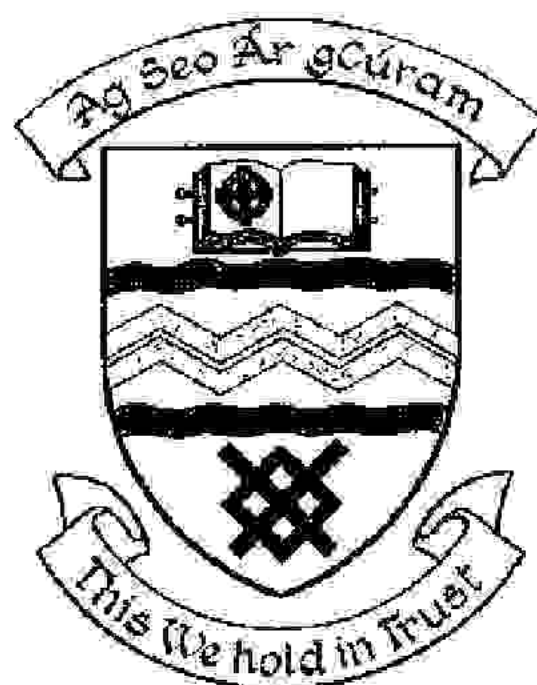
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- 20 Notwithstanding the provisions of the Local Government (Planning and Development) Regulations 1994-1997 any ventilation vents and air conditions vents, associated plant equipment, associated storage on the roof shall require approval by the Planning Authority or An Bord Pleanála on appeal.
REASON:
In the interest of visual amenity and orderly development on a site which is low lying and highly visible from the adjoining motorway and canal corridor.
- 21 All offices to be ancillary to respective units.
REASON:
In the interest of the proper planning and development of the area.
- 22 That a financial contribution in the sum of £39,000 (thirty nine thousand pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.
REASON:
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 23 That a financial contribution in the sum of money equivalent to the value of £65,000 (sixty five thousand pounds) as on 1st January, 1991, updated in accordance with the Wholesale Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

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REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 24 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains, has been given by:-
- a. Lodgement with the Council of an approved Insurance Company Bond in the sum of £104,000 (one hundred and four thousand pounds) until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the council.
or./...
 - b. Lodgement with the Council of a cash sum of £65,000 (sixty five thousand pounds) to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specifications.
or./...
 - c. Lodgement with the Planning Authority of a letter of guarantee issued by the Construction Industry Federation in respect of the proposed development, in accordance with the guarantee scheme agreed with Planning Authority.

REASON:

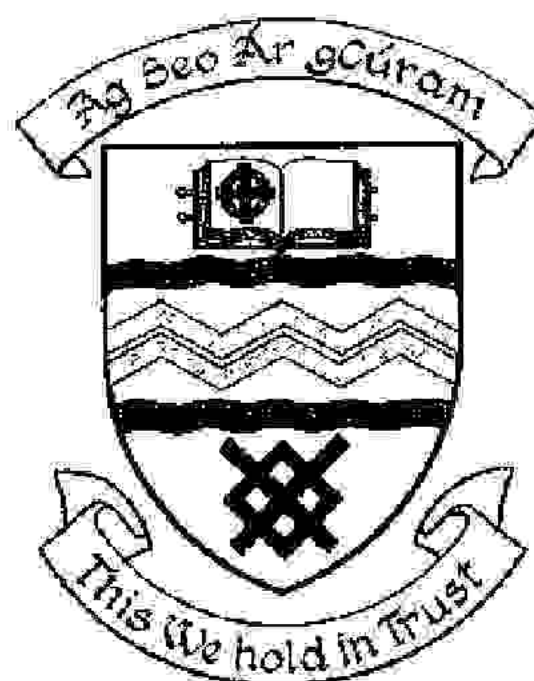
To ensure that a ready sanction may be available to the council to induce the provision of services and prevent disamenity in the development.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1991 amended 1994.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.

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- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

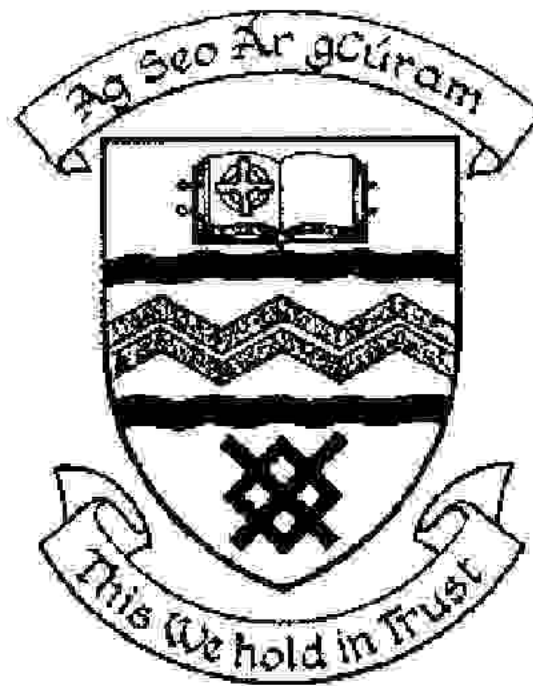
Signed on behalf of South Dublin County Council.

.....September 1997
for SENIOR ADMINISTRATIVE OFFICER

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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1600	Date of Decision 11/08/97
Register Reference S97A/0168	Date 26th March 1997

Applicant Averland Ltd.,

Development 9 general industrial units, in 4 separate blocks, E.S.B. sub station, security booth, site roadways, paved service areas, car park and new boundary fence.

Location site A, Gallanstown, New Nangor - Fox & Geese Road, Clondalkin, Dublin 22.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 22/05/97 /13/06/97

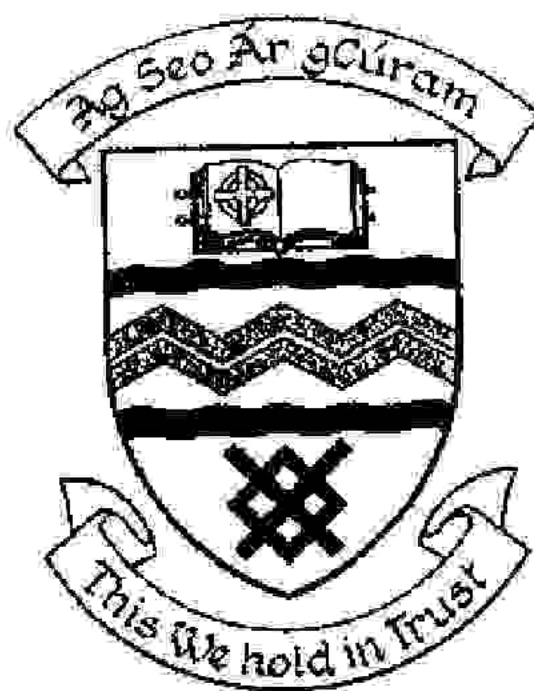
In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order dated as above make a **DECISION TO GRANT PERMISSION** in respect of the above proposal.

Subject to the conditions (24) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

.....
for **SENIOR ADMINISTRATIVE OFFICER** 11/08/97

David Madden & Associates,
4 Merrion Square,
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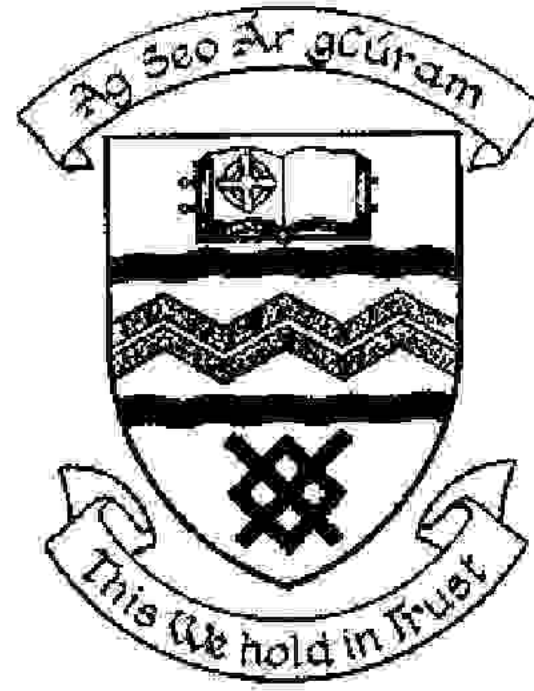
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application and as amended by additional information received on 13th June 1997, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.
REASON:
In the interest of safety and the avoidance of fire hazard.
- 3 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.
REASON:
In the interest of health.
- 4 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council.
REASON:
In order to comply with the Sanitary Services Acts, 1878 - 1964.
- 5 The applicant to discuss and agree details of connection to existing 1350mm foul sewer with the Environmental Services Department of the Planning Authority prior to commencement of development. (It is not possible to connect in at invert level). All details to be agreed in writing with the

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Planning Authority prior to commencement of development.

REASON:

In the interest of the proper planning and development of
the area.

- 6 In respect of surface water drainage the applicant shall
provide a petrol interceptor within the site boundaries and
the type of interceptor shall be to the requirements of the
Environmental Services Department of the Planning Authority.

REASON:

In the interest of public health.

- 7 In respect of water supply all metered connections, tapping,
etc. to be made by South Dublin County Council at the
applicants expense.

REASON:

In the interest of the proper planning and development of
the area.

- 8 No part of proposed units to be within 5m of existing sewers
or watermains.

REASON:

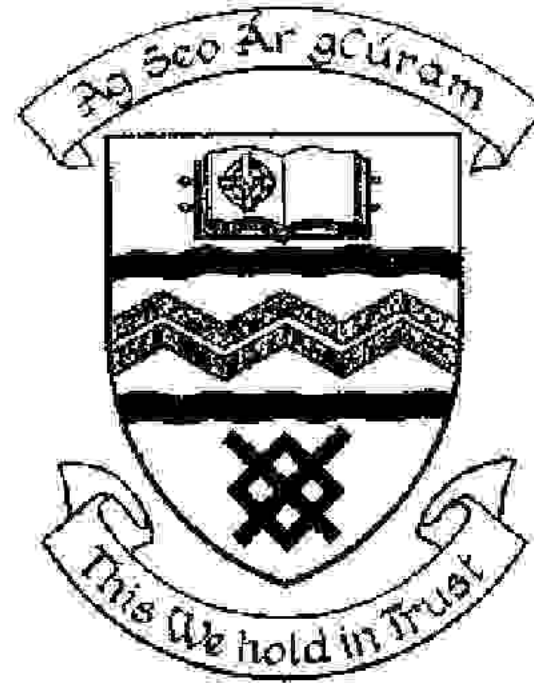
In the interest of the proper planning and development of
the area.

- 9 That no industrial effluent be permitted without prior
approval from Planning Authority.

REASON:

In the interest of health.

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- 10 That off-street car parking facilities and parking for trucks be provided in accordance with the Development Plan Standards and in this regard the applicant should submit to the Planning Authority details on plan showing allocation of car park spaces to respective units.

REASON:

In the interest of the proper planning and development of the area and to clarify car parking allocation in the event of the proposals.

- 11 That the area between the building and roads must not be used for truck parking or other storage or display purposes, but must be reserved for car parking and landscaping as shown on lodged plans.

REASON:

In the interest of the proper planning and development of the area.

- 12 The car parking area indicated on the submitted site layout plan shall be clearly marked out and available at all times for car parking use and shall not be sold for storage or display or other uses.

REASON:

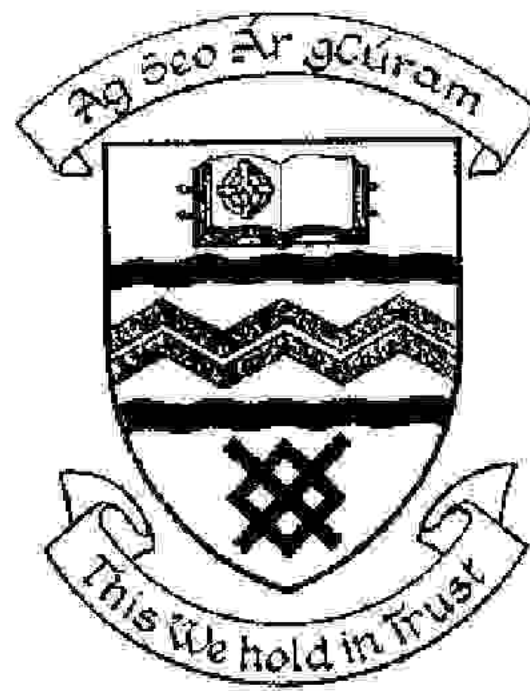
In the interest of the proper planning and development of the area.

- 13 That the developer shall not interfere with the stability or drainage system of the canal and all construction works in so far as they may affect the canal shall be carried out in consultation with the Department of Arts, Culture and the Gaeltacht.

REASON:

In the interest of public safety and to accord with the objectives for preservation of the canal corridor.

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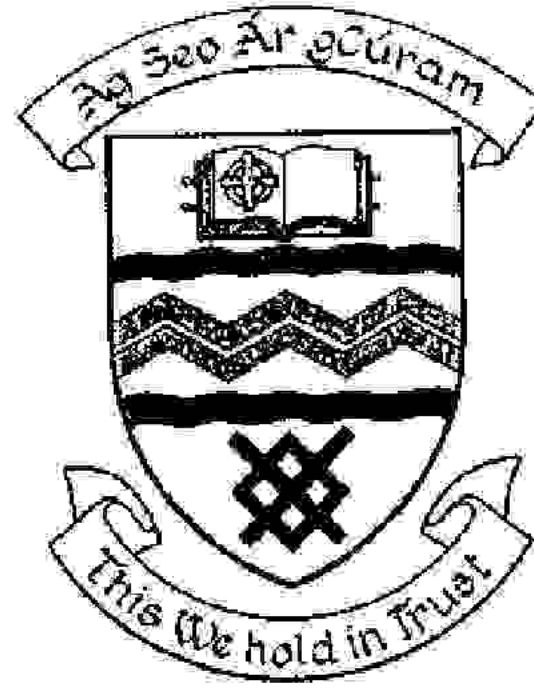
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- 14 That all landscaping and planting shall be completed to the satisfaction of the Planning Authority prior to occupation of units.
REASON:
In the interest of the proper planning and development of the area.
- 15 Notwithstanding the provisions of the Local Government (Planning and Development) Regulations 1994-1997 there shall be no outdoor storage without the prior grant of approval of the Planning Authority or An Bord Pleanála on appeal.
REASON:
In the interest of orderly development.
- 16 In respect of boundary treatment the site shall be bound by a dwarf wall and railings, with the exception of the northern boundary where it bounds with the canal which shall be provided with a high quality decorative railing. Details of design, materials and finish shall be agreed in writing with the Planning Authority prior to commencement of development.
REASON:
In the interest of visual amenity and in the interest of proper planning and development of an area for which it is an objective to provide for recreational amenities.
- 17 That the existing hedgerow shall be maintained as indicated in the submitted plans and shall be adequately screened during construction works and any interference shall be subject to written agreement with the Department of Arts, Culture and Gaeltacht and the Planning Authority.
REASON:
In the interest of visual amenity as to accord with the

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objective to protect an area of scientific interest to which
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- 19 That the materials colour and finish of all units and structures shall be harmonious and all details shall be agreed with the Planning Authority prior to commencement of development.
REASON:
In the interest of visual amenity and the proper planning and development of the area.
- 20 Notwithstanding the provisions of the Local Government (Planning and Development) Regulations 1994-1997 any ventilation vents and air conditions vents, associated plant equipment, associated storage on the roof shall require approval by the Planning Authority or An Bord Pleanala on appeal.
REASON:
In the interest of visual amenity and orderly development on a site which is low lying and highly visible from the adjoining motorway and canal corridor.

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- 21 All offices to be ancillary to respective units.

REASON:

In the interest of the proper planning and development of the area.

- 22 That a financial contribution in the sum of £39,000 (thirty nine thousand pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

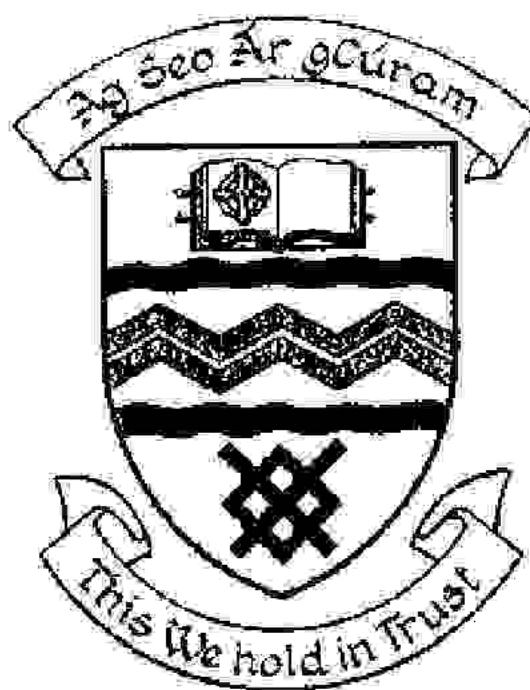
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 23 That a financial contribution in the sum of money equivalent to the value of £65,000 (sixty five thousand pounds) as on 1st January, 1991, updated in accordance with the Wholesale Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

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24 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains, has been given by:-

- a. Lodgement with the Council of an approved Insurance Company Bond in the sum of £104,000 (one hundred and four thousand pounds) until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.
Or./...
- b. Lodgement with the Council of a Cash Sum of £65,000 (sixty five thousand pounds) to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specifications.
Or./...
- c. Lodgement with the Planning Authority of a letter of guarantee issued by the Construction Industry Federation in respect of the proposed development, in accordance with the guarantee scheme agreed with Planning Authority.

REASON:

To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

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**PLANNING
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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 0973	Date of Decision 23/05/97
Register Reference S97A/0168	Date 26th March 1997

Applicant Development Averland Ltd.,
9 general industrial units, in 4 separate blocks, E.S.B.
sub station, security booth, site roadways, paved service
areas, car park and new boundary fence.

Location Site A, Gallanstown, New Nangor - Fox & Geese Road,
Clondalkin, Dublin 22.

App. Type Permission

Dear Sir/Madam,

With reference to your planning application, received on 26/03/97 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1993, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

1 Foul Sewer Drainage:

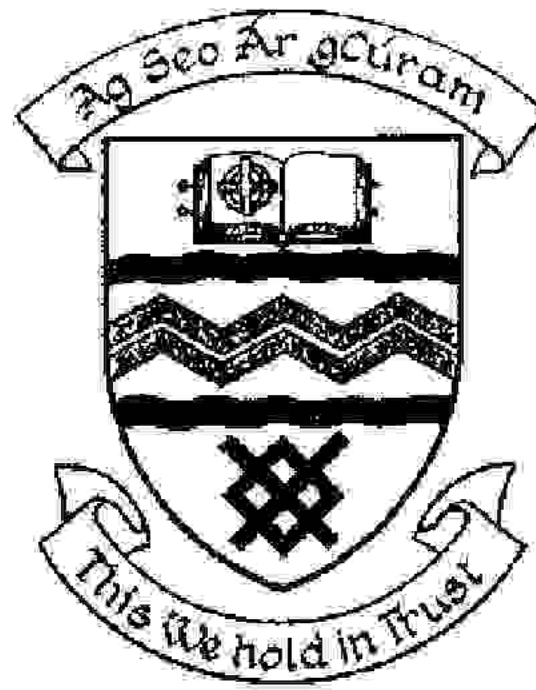
- . The applicant is requested to submit full details of proposed foul sewer system to include pipe sizes, cover and invert levels and gradients up to and including connection to existing sewer.
- . The applicant is requested to submit full details of proposed connection to existing foul manhole at south-east corner of site.

2 Surface Water Drainage System:

- . The applicant is requested to submit full details of proposed surface water sewer system to include pipe sizes, cover and invert levels and gradients up to and including connection to existing surface water

David Madden & Associates,
4 Merrion Square,
Dublin 2.

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REG REF. S97A/0168

- sewer at south-east corner of site.
- . The applicant is requested to submit full details of proposed connection at new roundabout.
- . The applicant is requested to submit full details of proposals for 1000mm pipes and drainage arrangement at corner of site to include pipe sizes, cover and invert levels, gradients and capacities.
- . It appears the applicant intends to fill in part of the existing canal overflow and to divert same. This should be referred to the Department of Arts Culture and the Gaeltacht and any other relevant body. The applicant is requested to submit evidence for consultation with the Department of Arts Culture and Gaeltacht.

3 stability of canal and Boundary Hedge:

The Planning Authority is concerned about the impact of the proposed development on the structural integrity of the canal and its drainage system and in this regard has concerns regarding:

- . The proximity of the development, particularly Blocks A and D and car parking, which would involve substantial soil movement and site works which may effect the stability of the canal embankment and its the canal drainage system i.e. potential breach of the canal.
- . The applicant may have to set back these buildings (Blocks A and D) and relocate loading bays to the south side which would increase an area for landscaping between the canal and the development.
- . The impact of the development on the existing mature hedgerow which is a critical landscape feature of the site. It is not clear whether or not the hedge is and can be retained. It is desirable that the hedge is retained and that the applicant provide details of how it is proposed to do this.
- . Boundary Treatment: The drawings propose a palisade fence which is unacceptable and not considered to be in accordance with terms of the brief for the sale

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of the site. A dwarf wall and railing is required. In the event that this would effect maintenance of the hedgerow then an alternative boundary treatment of durable material and which is harmonious with the canal bank will be considered. Details are needed in this regard from the applicant.

In this regard the applicant is requested to consult with the Department of Arts Culture and the Gaeltacht and to submit:

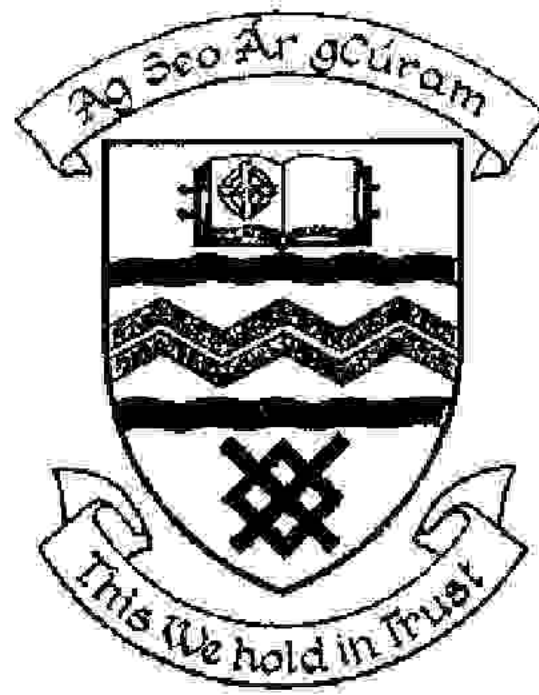
- . Detailed cross section drawings of the northern boundary clearly indicating the existing situation and proposals and to include the exact legal boundary, the drain, hedgerow, exact location of boundary wall/railing, hard surfacing, car parking and blocks A and D.
- . The applicant is requested to consider revising the layout and to submit revised drawings showing omission of car parking along the northern boundary.

4 Integration of development with canal as an active area.

Having regard to the brief for the terms of sale of the subject site the Planning Authority is concerned about the quality of integration of the proposed development with the canal area. A large square shaped patch of land is located to the north east of the site and it is intended by the Department of Arts Culture and the Gaeltacht to develop this as a recreational area. The proposed development has not adequately addressed the integration of the development. The applicant is requested to submit detailed proposals having regard to the following:

- . provision of pedestrian accesses from the site to the canal bank - one at Block D and one at the north-east corner. (In this regard the applicant is advised to consult with the Department of Arts Culture and the Gaeltacht).
- . hard landscaping on the site to provide a

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pedestrian route and orientation to these accesses throughout the site. The security gates abutting proposed block C are considered to potentially inhibit this flow and the applicant is requested to confirm whether or not these can be removed.

- . improved soft landscaping along the boundary with canal. The plans show 350 spaces. Up to 50 car park spaces could be omitted in favour of more landscaping. In the vicinity of Block D the Planning Authority will permit a reduced set back from the Nangor/Fox and Geese Road and an extended internal road to the west of the site to provide more parking, diagonal/parallel parking in order to facilitate a set back from the canal as required by the Department of Arts Culture and the Gaeltacht and to enable increased landscaping along the canal.
- . improved office frontage in the north elevation of Block C e.g. wrap offices in east elevation around to more northerly elevation of block.
- . the applicant is requested to confirm whether or not the two Loading Bays nearest the canal in Blocks A and D can be relocated south to enable increased soft landscaping and to reduce impact of development on the adjoining canal bank.

5 Landscaping of site

Having regard to items no. 3 and 4, the applicant is requested to submit a detailed landscaping plan including the proposed programme for such works. Plans to include planting of large trees of indigenous species in the western point of the site.

6 The applicant is requested to confirm whether or not the ESB station can be relocated to adjoining or be in close proximity to the proposed Blocks.

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- 7 The applicant is requested to submit details of proposed security hut.
- 8 The applicant to submit watermain layout drawing indicating proposed mains size, valve and hydrant layout together with proposal point of connection to existing public mains. Main and hydrant layout to be in accordance with Part B of the Building Regulations 1991.

Signed on behalf of South Dublin County Council

.....
for Senior Administrative Officer

23/05/97

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S97A/0168	
1. Location	Site A, Gallanstown, New Nangor - Fox & Geese Road, Clondalkin, Dublin 22.		
2. Development	9 general industrial units, in 4 separate blocks, E.S.B. sub station, security booth, site roadways, paved service areas, car park and new boundary fence.		
3. Date of Application	26/03/97	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: David Madden & Associates, Address: 4 Merrion Square, Dublin 2.		
5. Applicant	Name: Averland Ltd., Address: Milltown Pass, Mullingar, Co. Westmeath.		
6. Decision	O.C.M. No. Date	Effect	
7. Grant	O.C.M. No. Date	Effect	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement	Compensation	Purchase Notice	
0	0	0	
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar Date Receipt No.	