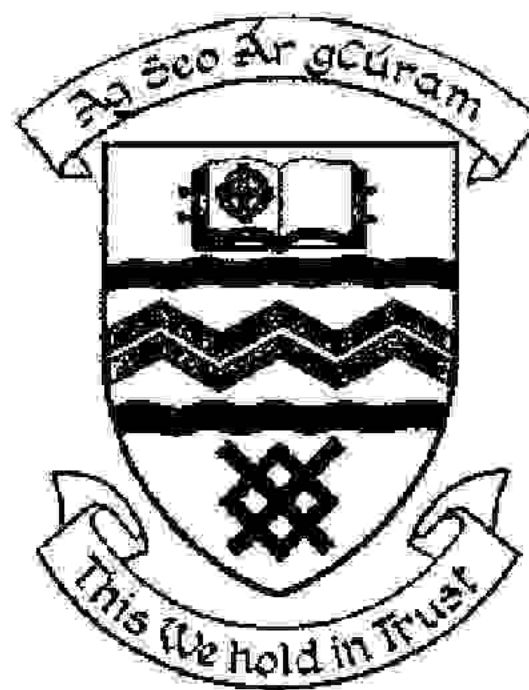


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S97A/0731	
1. Location	Adjacent Jobstown Community College with access off Kiltalown Road and DeSelby roundabout		
2. Development	154 no. detached and semi-detached 3 bed houses with associated site works and relocation of access to Jobstown Community College on site of approximately 15.5 acres with access off Kiltalown Road and DeSelby roundabout at Gibbons Tallaght being Phase 5 of overall development at Suncroft for Kelland Homes Ltd.		
3. Date of Application	13/11/1997	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 29/01/1998 2.	1. 17/11/1998 2.
4. Submitted by	Name: Fenton Simons Address: 29 Fitzwilliam Place, Dublin 2.		
5. Applicant	Name: Kelland Homes Ltd Address: Ballymount House, Ballymount Road, Dublin 24.		
6. Decision	O.C.M. No. 0073 Date 14/01/1999	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 0411 Date 25/02/1999	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement	Compensation	Purchase Notice	
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 0190	Date of Decision 29/01/98
Register Reference S97A/0731	Date 13th November 1997

Applicant Kelland Homes Ltd
Development 154 no. detached and semi-detached 3 bed houses with associated site works and relocation of access to Jobstown Community College on site of approximately 15.5 acres with access off Kiltalown Road and Deselby roundabout at Gibbons Tallaght being Phase 5 of overall development at Suncroft for Kelland Homes Ltd.

Location Adjacent Jobstown Community College with access off Kiltalown Road and Deselby roundabout.

App. Type Permission

Dear Sir/Madam,

With reference to your planning application, received on 13/11/97 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1993, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

- 1 The applicants are requested to submit a revised site layout plan to scale 1:500 to show the following:-
 - a) the location of all houses and gardens which abut this site to the east in the Kiltalown Estate and to the south in the De Selby Estate;
 - b) revised proposals for single storey houses on sites 67 and 68 and 33 and 34 which abut the rear gardens of single storey houses in Kiltalown Crescent;
 - c) houses in the vicinity of Road 10 i.e. no's. 94-98 and 139-142 re-oriented to omit incidental public open space to the site;
 - d) the omission of houses 143-154 and roads 7 and 8 to provide a useable area of public open space.

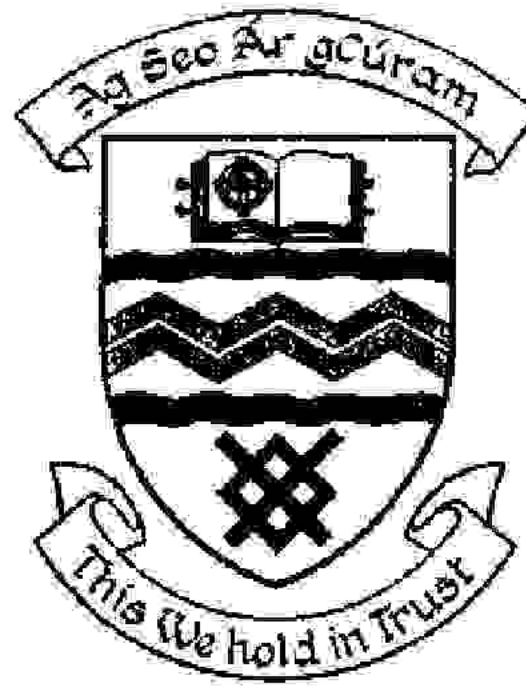
Fenton Simons
29 Fitzwilliam Place,
Dublin 2.

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- 2 The applicants are requested to indicate the precise location of two Dublin Corporation trunk watermain which traverse the site. The position on site should be established with the relevant engineers from Dublin Corporation Water Division, Marrowbone Lane, Dublin 8 and any revised layout submitted to take account of necessary wayleaves.
- 3 The applicants are requested to indicate ownership of industrially zoned land to the west of the site and what boundary treatment is proposed to preserve residential amenities. The applicant is requested to indicate how much of Road 10 is to be constructed with the development and whether it is proposed to give access to industrial lands to the west.
- 4 The applicants are requested to make provision for a layby 100m in length on the school side of Road 10. Is it proposed to construct a new school boundary on Road 10 in conjunction with the application? If so, then details of location and design should be submitted.
- 5 The applicants are requested to indicate whether they are in ownership of the land immediately to the north of Road 10 opposite Road 5. There appears to be a backland area between Road 10 and houses newly constructed in Phase 1 of Sundale. If proposals exist for this site then they should be indicated.
- 6 The applicants are requested to indicate whether it is proposed to remove the earth mound which immediately adjoins

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the proposed public open space area on the south boundary of the site. A cross section drawing of that portion of the public open space between Road 6 and the road in De Selby Estate should be submitted to indicate the finished levels for the public open space area.

- 7 The applicants are requested to submit revised proposals for Road 1 for 7.5m width along its entire length. The radius curves at the junction of Road 1 and Road 10 should be 10m.
- 8 The applicants are requested to submit the following in relation to foul and surface water drainage:-
- a) the location of existing foul and surface water sewers which traverse this site as indicated on drawings submitted do not correspond with records held by South Dublin County Council. The applicants should establish, through survey, the exact location of these pipelines to the satisfaction of the Environmental Services Department of South Dublin County Council and submit revised drawings and site layout, if required;
 - b) revised proposals to resolve clashes between foul and surface water pipe runs at F20-F7 and S7-S6, S22-S6; F8-F7 and S17-S7; F6-F5 and S15-S4; F4-F3 and existing 1200mm diameter surface water sewer, F18-F2 and existing 1200mm diameter surface water sewer.

NOTE: The applicant is advised to consult with the Environmental Services Department and Planning Department of South Dublin County Council prior to the submission of the above information.

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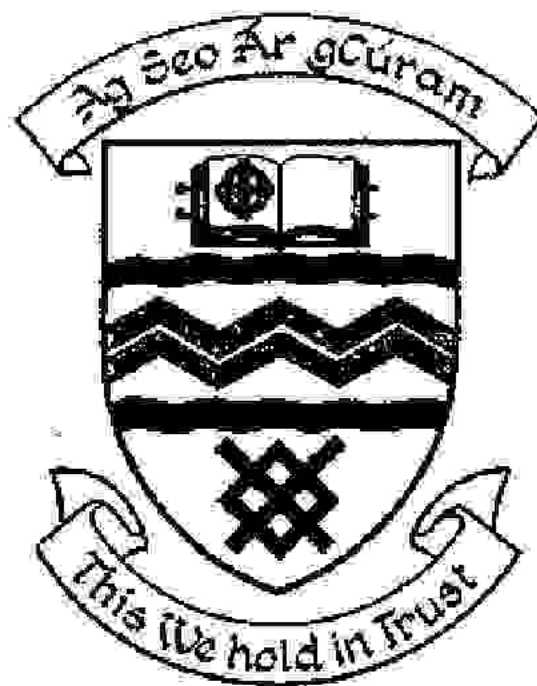
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Signed on behalf of South Dublin County Council

.....
for Senior Administrative Officer



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29/01/98

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Order Number 4163	Date of Order 27/11/97
Register Reference S97A/0731	Date 13th November 1997

Applicant Kelland Homes Ltd

Development 154 no. detached and semi-detached 3 bed houses with associated site works and relocation of access to Jobstown Community College on site of approximately 15.5 acres with access off Kiltalown Road and Deselby roundabout at Gibbons Tallaght being Phase 5 of overall development at Suncroft for Kelland Homes Ltd.

Location Adjacent Jobstown Community College with access off Kiltalown Road and Deselby roundabout.

Dear Sir/Madam,

An inspection carried out on 21/11/97 has shown that a site notice was not erected in respect of your planning application. Before this application can be considered, you must erect a notice on the site or structure, and submit the following to the Department:

- (a) two copies of the text of the notice
- (b) two plans showing the position of the notice on the land or structure
- (c) a statement of the date on which the notice is erected

The notice must be maintained in position for at least one month and must fulfill the following conditions:-

1. Must be durable material
2. Must be securely erected in a conspicuous position easily visible and legible by persons using the public road
3. Must be headed "Application to Planning Authority".
4. Must state:
Fenton Simons
29 Fitzwilliam Place,
Dublin 2.

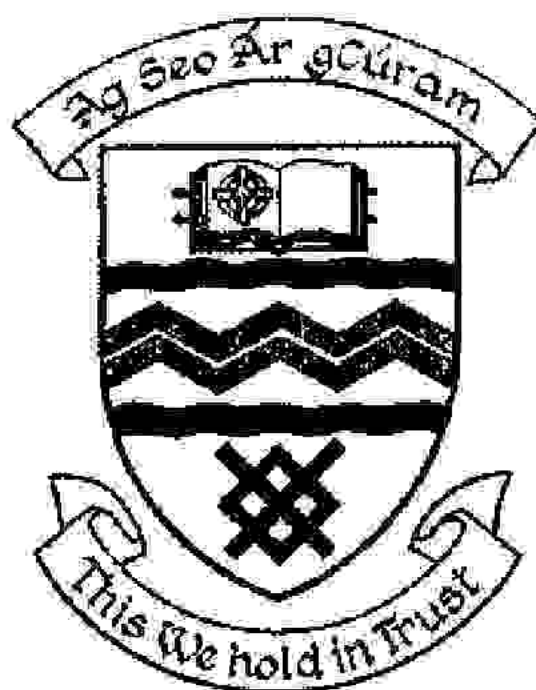
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- (a) Applicant's name
- (b) whether application is for Permission, Outline Permission, or Approval.
- (c) nature and extent of development including number of dwellings (if any)
- (d) that the application may be inspected at the Planning Department, South Dublin County Council, Town Centre, Tallaght, Dublin 24.

No further consideration will be given to this application until you comply with these requirements.

Yours faithfully,

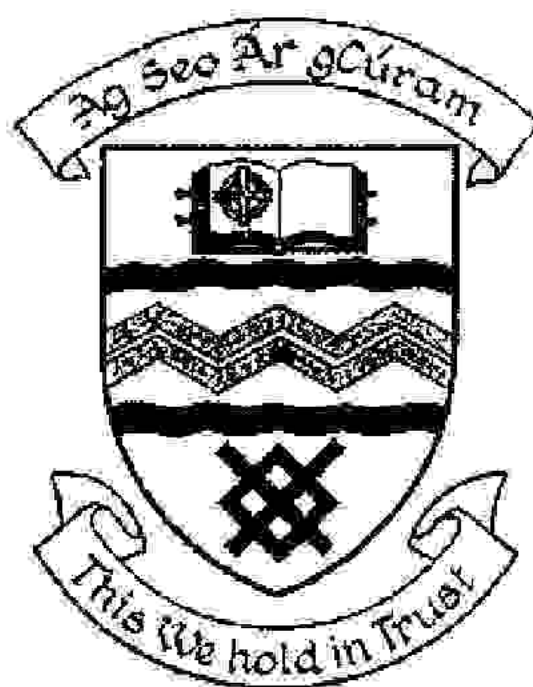
.....
for Senior Administrative Officer.

27/11/97

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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 0073	Date of Decision 14/01/99
Register Reference S97A/0731	Date 13th November 1997

Applicant Kelland Homes Ltd

Development 154 no. detached and semi-detached 3 bed houses with associated site works and relocation of access to Jobstown Community College on site of approximately 15.5 acres with access off Kiltalown Road and Deselby roundabout at Gibbons Tallaght being Phase 5 of overall development at Suncroft for Kelland Homes Ltd.

Location Adjacent Jobstown Community College with access off Kiltalown Road and Deselby roundabout.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 29/01/98 /17/11/98

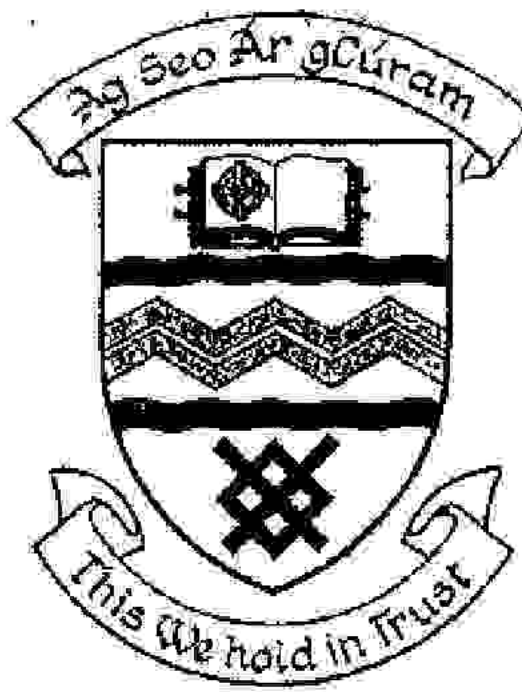
In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order dated as above make a **DECISION TO GRANT PERMISSION** in respect of the above proposal.

Subject to the conditions (21) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

..... 14/01/99
for SENIOR ADMINISTRATIVE OFFICER

Fenton Simons
29 Fitzwilliam Place,
Dublin 2.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application and in accordance with additional information received on 17/11/98 and 21.12.98, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That each proposed house be used as a single dwelling unit.
REASON:
To prevent unauthorised development.
- 3 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 4 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
REASON:
In the interest of amenity.
- 5 That public lighting be provided as each street is occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard

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required by South Dublin County Council.

REASON:

In the interest of amenity and public safety.

- 6 That no dwellinghouse be occupied until all the services have been connected thereto and are operational.

REASON:

In the interest of the proper planning and development of the area.

- 7 That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.

REASON:

In the interest of the proper planning and development of the area.

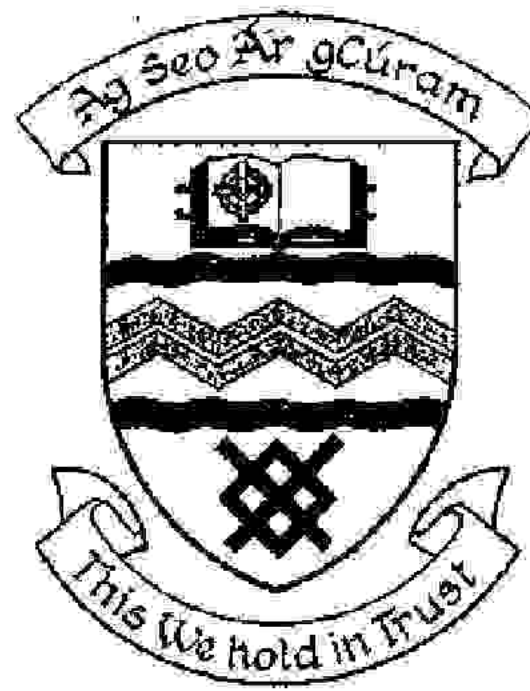
- 8 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. In this regard the following shall be complied with:-

- a) all pipes shall be laid with a minimum cover of 1.2m in roads and, footpaths, and 0.9m in areas of public open space. Where it is not possible to achieve these minimum depths, pipes shall be bedded and surrounded in C20 concrete 150mm thick covers and driveways;
- b) Applicant to ensure full and complete separation of foul and surface water systems;
- c) Prior to any works commencing the applicant shall submit written evidence of agreement of Dublin Corporation in respect of proposed works within the 16m wide reservation over Dublin Corporation water main traversing the site.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

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- 9 That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

- 10 That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.

REASON:

In the interest of the proper planning and development of the area.

- 11 That screen walls in block or similar durable materials not less than 2 metres high, suitably capped and rendered, be provided at the necessary locations so as to screen rear gardens from public view. The specific locations and extent of walling must be fully discussed and agreed with the County Council before construction. Timber fencing is not acceptable.

REASON:

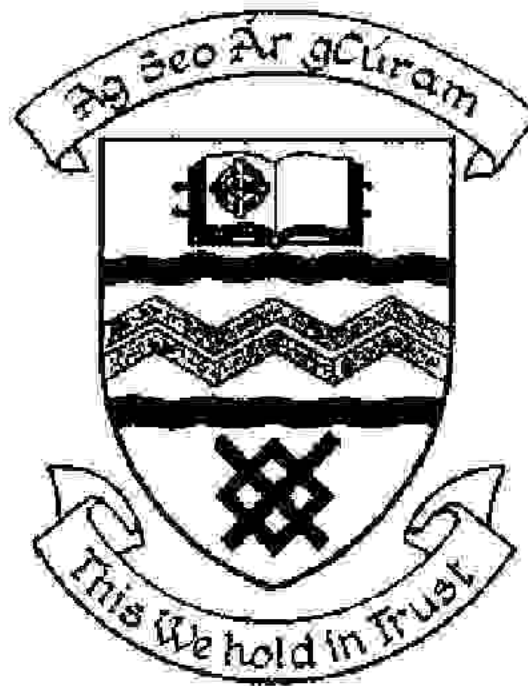
In the interest of visual amenity.

- 12 That the developer shall construct and maintain to the Council's standard for taking in charge all the roads, including footpaths, verges, public lighting, open space, sewers, watermains or drains, forming part of the development, until taken in charge by the Council.

REASON:

In the interest of the proper planning and development of the area.

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- 13 That the areas shown and conditioned as open space be fenced off during construction work and shall not be used for the purpose of site compounds or for the storage of plant, materials or spoil.

REASON:

To protect the amenities of the area.

- 14 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

REASON:

In the interest of reducing air pollution.

- 15 Prior to development commencing the developer shall submit full details of proposed boundary treatment to the western, southern and northern boundaries of the site for the written agreement of the Planning Authority.

REASON:

In the interest of amenity.

- 16 That a financial contribution in the sum of money equivalent to the value of £112,000 (one hundred and twelve thousand pounds) as on 1st January, 1991, updated in accordance with the Wholesale Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

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- 17 That a financial contribution in the sum of £500 (five hundred pounds) PER HOUSE be paid by the proposer to South Dublin County Council towards the cost of the provision and development of Class 1 public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the provision and development of amenity lands in the area which will facilitate the proposed development.

- 18 That a financial contribution in the sum of £94,500 (ninety four thousand five hundred pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

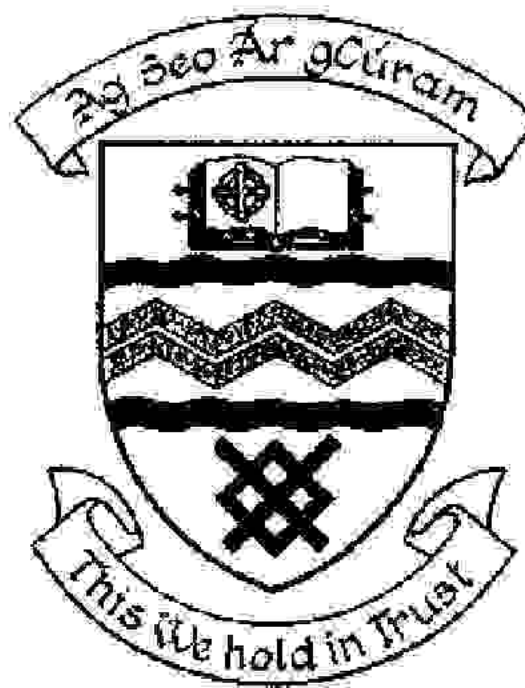
REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 19 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains, has been given by:-

- a. Lodgement with the Council of an approved Insurance Company Bond in the sum of £224,000 (two hundred and twenty four thousand pounds) until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.

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- Or./...
- b. Lodgement with the Council of a cash sum of £140,000 (one hundred and forty thousand pounds) to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specifications.

- Or./...
- c. Lodgement with the Planning Authority of a letter of guarantee issued by the Construction Industry Federation in respect of the proposed development, in accordance with the guarantee scheme agreed with Planning Authority.

REASON:

To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

- 20 That prior to the commencement of works on site the developer shall submit a detailed landscape plan with full works specification (including timescale for implementation), maintenance programme for a period of at least eighteen months and bill of quantities for the development of the open space, for the written agreement of the Planning Authority. This plan to include grading, topsoiling, seeding, paths, drainage, boundary treatment and tree and shrub planting as necessary.

REASON:

In the interest of amenity.

- 21 That a specification and plan for street planting shall be agreed with the Parks and Landscape Services Department prior to the commencement of works on site.

REASON:

In the interest of amenity.

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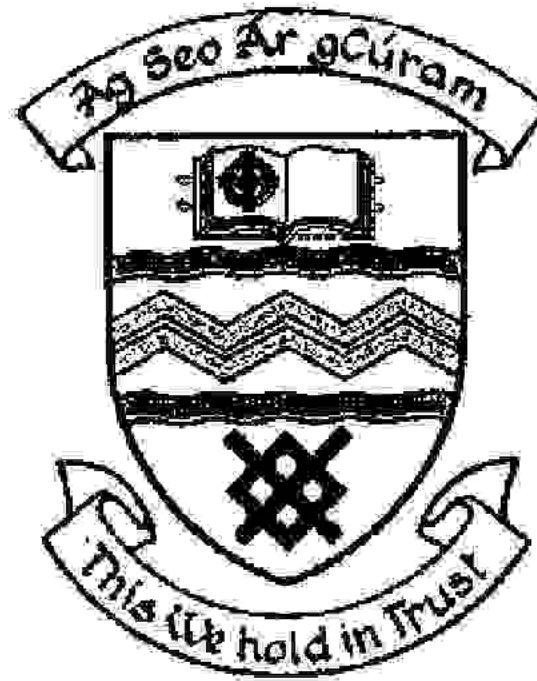
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Fenton Simons
29 Fitzwilliam Place,
Dublin 2.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 0411	Date of Final Grant 25/02/1999
Decision Order Number 0073	Date of Decision 14/01/1999
Register Reference S97A/0731	Date 17th November 1998

Applicant Kelland Homes Ltd

Development 154 no. detached and semi-detached 3 bed houses with associated site works and relocation of access to Jobstown Community College on site of approximately 15.5 acres with access off Kiltalown Road and Deselby roundabout at Gibbons Tallaght being Phase 5 of overall development at Suncroft for Kelland Homes Ltd.

Location Adjacent Jobstown Community College with access off Kiltalown Road and Deselby roundabout.

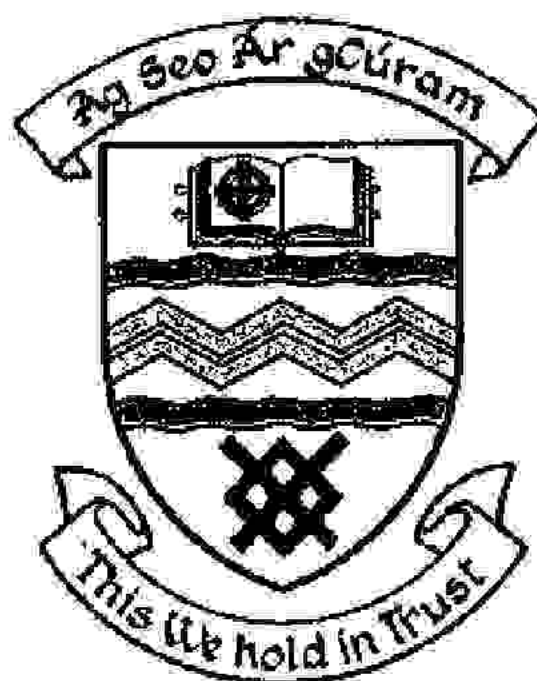
Floor Area 0.00 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 29/01/1998 /17/11/1998

A Permission has been granted for the development described above,
subject to the following (21) Conditions.

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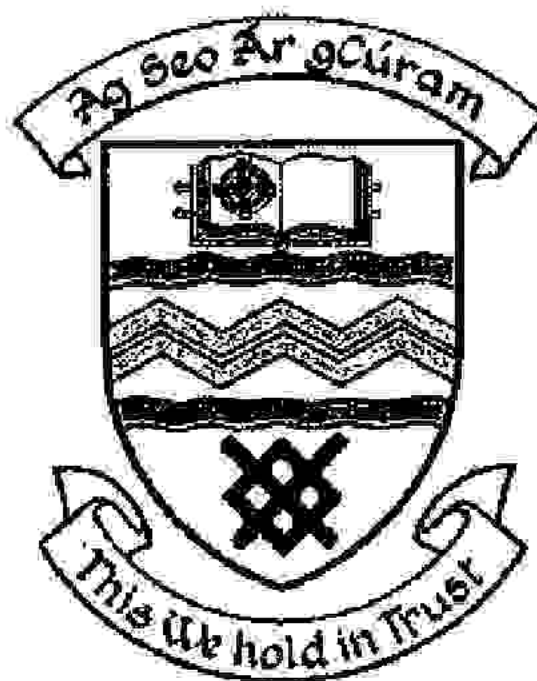
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application and in accordance with additional information received on 17/11/98 and 21.12.98, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That each proposed house be used as a single dwelling unit.
REASON:
To prevent unauthorised development.
- 3 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 4 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
REASON:
In the interest of amenity.
- 5 That public lighting be provided as each street is occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard required by South Dublin County Council.
REASON:
In the interest of amenity and public safety.
- 6 That no dwellinghouse be occupied until all the services have been connected thereto and are operational.
REASON:
In the interest of the proper planning and development of the area.

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- 7 That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.

REASON:

In the interest of the proper planning and development of the area.

- 8 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. In this regard the following shall be complied with:-

- a) all pipes shall be laid with a minimum cover of 1.2m in roads and, footpaths, and 0.9m in areas of public open space. Where it is not possible to achieve these minimum depths, pipes shall be bedded and surrounded in C20 concrete 150mm thick covers and driveways;
- b) Applicant to ensure full and complete separation of foul and surface water systems;
- c) Prior to any works commencing the applicant shall submit written evidence of agreement of Dublin Corporation in respect of proposed works within the 16m wide reservation over Dublin Corporation water main traversing the site.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

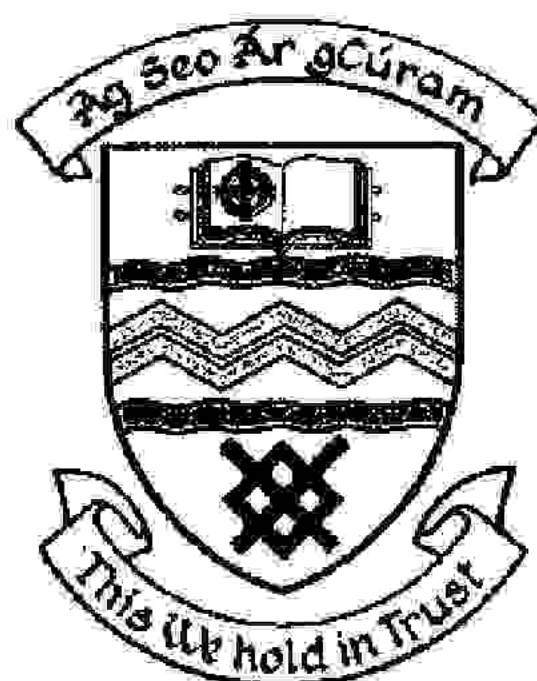
- 9 That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

- 10 That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before

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any constructional work takes place on the proposed houses.

REASON:

In the interest of the proper planning and development of the area.

- 11 That screen walls in block or similar durable materials not less than 2 metres high, suitably capped and rendered, be provided at the necessary locations so as to screen rear gardens from public view. The specific locations and extent of walling must be fully discussed and agreed with the County Council before construction. Timber fencing is not acceptable.

REASON:

In the interest of visual amenity.

- 12 That the developer shall construct and maintain to the Council's standard for taking in charge all the roads, including footpaths, verges, public lighting, open space, sewers, watermains or drains, forming part of the development, until taken in charge by the Council.

REASON:

In the interest of the proper planning and development of the area.

- 13 That the areas shown and conditioned as open space be fenced off during construction work and shall not be used for the purpose of site compounds or for the storage of plant, materials or spoil.

REASON:

To protect the amenities of the area.

- 14 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

REASON:

In the interest of reducing air pollution.

- 15 Prior to development commencing the developer shall submit full details of proposed boundary treatment to the western, southern and northern boundaries of the site for the written agreement of the Planning Authority.

REASON:

In the interest of amenity.

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- 16 That a financial contribution in the sum of money equivalent to the value of #112,000 (one hundred and twelve thousand pounds) as on 1st January, 1991, updated in accordance with the Wholesale Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 17 That a financial contribution in the sum of #500 (five hundred pounds) PER HOUSE be paid by the proposer to South Dublin County Council towards the cost of the provision and development of Class 1 public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

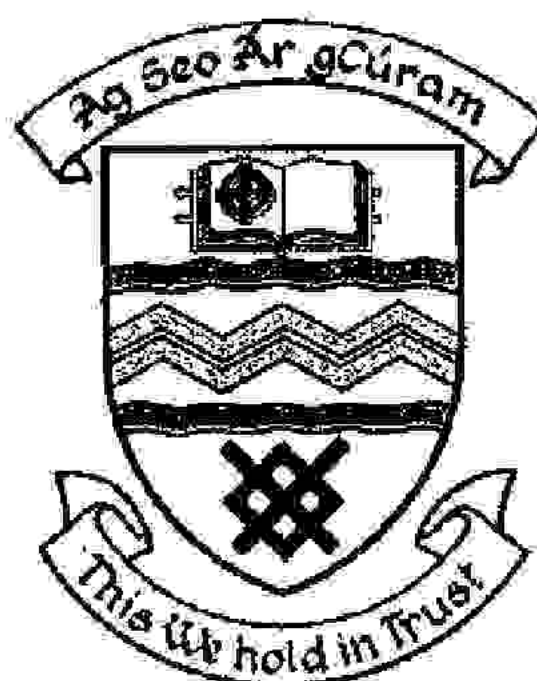
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the provision and development of amenity lands in the area which will facilitate the proposed development.

- 18 That a financial contribution in the sum of #94,500 (ninety four thousand five hundred pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

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19 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains, has been given by:-

- a. Lodgement with the Council of an approved Insurance Company Bond in the sum of #224,000 (two hundred and twenty four thousand pounds) until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.
 Or./...
- b. Lodgement with the Council of a Cash Sum of #140,000 (one hundred and forty thousand pounds) to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specifications.
 Or./...
- c. Lodgement with the Planning Authority of a letter of guarantee issued by the Construction Industry Federation in respect of the proposed development, in accordance with the guarantee scheme agreed with Planning Authority.

REASON:

To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

20 That prior to the commencement of works on site the developer shall submit a detailed landscape plan with full works specification (including timescale for implementation), maintenance programme for a period of at least eighteen months and bill of quantities for the development of the open space, for the written agreement of the Planning Authority. This plan to include grading, topsoiling, seeding, paths, drainage, boundary treatment and tree and shrub planting as necessary.

REASON:

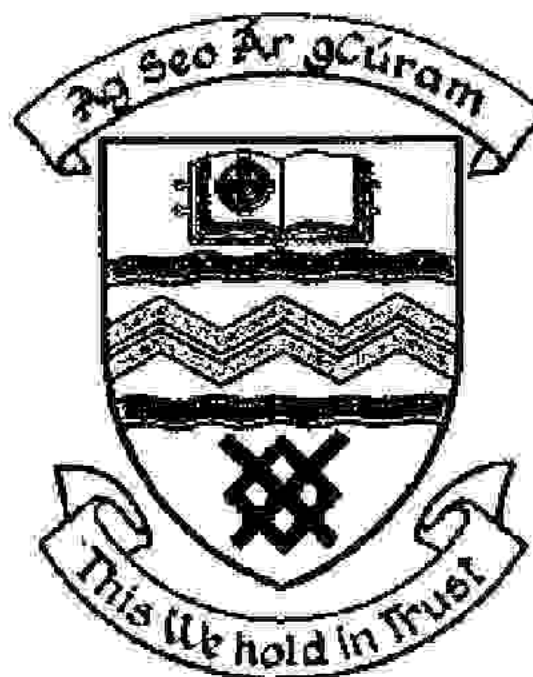
In the interest of amenity.

21 That a specification and plan for street planting shall be agreed with the Parks and Landscape Services Department

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prior to the commencement of works on site.

REASON:

In the interest of amenity.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1991 amended 1994.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

B. Kelly 16 February 1999
for SENIOR ADMINISTRATIVE OFFICER