

1.	Location	Pump Services Ltd., Willsbrook Road, Rathfarnham, Dublin 14.	
2.	Development	9 three bedroomed and 38 two bedroomed townhouses, associated site works and alterations to existing access bridge.	
3.	Date of Application	14/11/97	
3a.	Type of Application	Permission	1. 12/01/98 2. 03/04/98
4.	Submitted by	Name: Golden Project Management, East Wall Road, Dublin 3. Address: Owendocher Developments Ltd., East Wall Road, Dublin 3.	
5.	Applicant	Name: Owendocher Developments Ltd., East Wall Road, Dublin 3. Address: East Wall Road, Dublin 3.	
6.	Decision	O.C.M. No. 1050 Date 02/06/98	Effect AP GRANT PERMISSION
7.	Grant	O.C.M. No. 1602 Date 12/08/98	Effect AP GRANT PERMISSION
8.	Appeal Lodged	24/06/98	Written Representation
9.	Appeal Decision	31/07/98	Appeal Withdrawn
10.	Material Contravention		
11.	Enforcement	0	Compensation 0 Purchase Notice 0
12.	Revocation or Amendment		
13.	E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14.	Registrar	Date	Receipt No.

South Dublin County Council
Local Government
(Planning & Development)
Acts 1963 to 1993
Planning Register (Part 1)

Plan Register No. S97A/0735

SOUTH DUBLIN COUNTY COUNCIL
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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 0035	Date of Decision 12/01/98
Register Reference S97A/0735	Date 14th November 1997

Applicant Owendoher Developments Ltd.,
Development 9 three bedroomed and 38 two bedroomed townhouses,
associated site works and alterations to existing access
bridge.
Location Pump Services Ltd., Willsbrook Road, Rathfarnham, Dublin 14.
App. Type Permission

Dear Sir/Madam,

With reference to your planning application, received on 14/11/97 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1993, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

- 1 The rear gardens, car parking and density are not in accordance with the Development Plan standards. Rear gardens should be a minimum depth of 11m. The applicant is requested to clarify whether or not it is feasible to provide a scheme with provision for adequate rear gardens and 2 car park spaces per dwelling on the site. If this is feasible the applicant is requested to submit revised proposals having regard to item no. 2 below. In this regard car spaces for each unit should be located in reasonable proximity to each unit.
- 2 The applicant is requested to submit details of existing and proposed ground levels of the site and adjacent lands. Details to be sufficient to assess

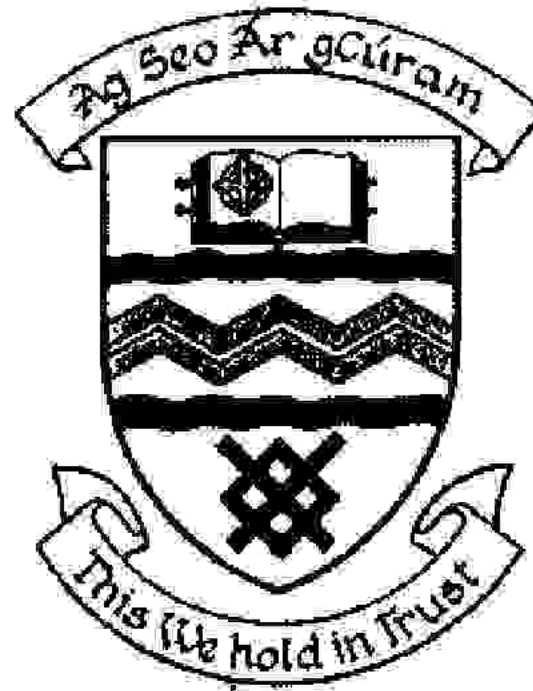
Collen Project Management,
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Dublin 3.

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REG REF. S97A/0735



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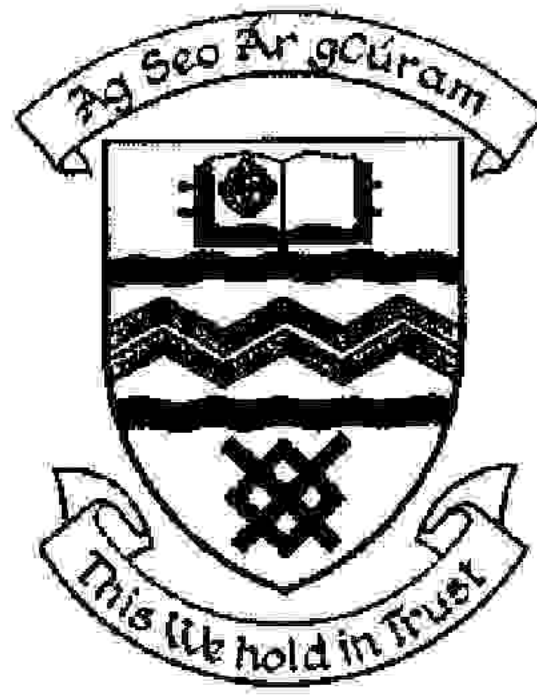
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- . the impact of the site works and development on the existing trees and boundary walls and river bank.
 - . road gradients.
 - . overlooking/overshadowing and quality of proposed rear gardens, particularly relating to houses backing onto Fairbrook Lawn where there is a very high wall.
 - . overshadowing of houses within the site.
 - . Details of garbage storage and disposal.
- 3 The applicant is requested to clarify whether or not it is feasible to provide a retaining wall 3m from the central bole of the Birch Trees in the rear gardens as indicated in the tree survey so as to retain existing soil levels and to ensure long-term retention. If this is feasible details to be included in drawings.
- 4 In relation to the vehicular entrance to the site the applicant is requested to clarify whether or not it is feasible to setback the boundary wall (providing a widened footpath) over a sufficient length to provide a visibility in order of 90m from a point 3m back from the edge of the road. If this is feasible the applicant is requested to submit revised drawings.
- 5 Details are required relative to the provision of any play areas or other amenity areas within the development.
- 6 Details are required of proposed management company, if any, relative to the maintenance and upkeep of the proposed development.

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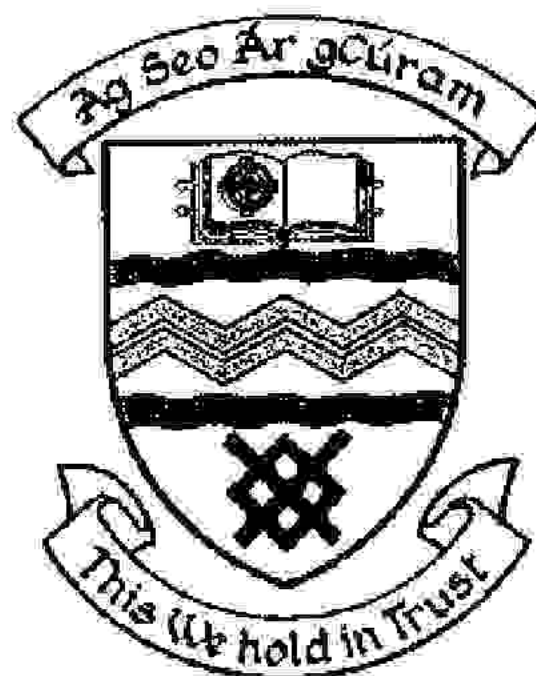
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Signed on behalf of South Dublin County Council

.....
for Senior Administrative officer

12/01/98

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Collen Project Management,
East Wall Road,
Dublin 3.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 1602	Date of Final Grant 12/08/98
Decision Order Number 1050	Date of Decision 02/06/98
Register Reference S97A/0735	Date 3rd April 1998

Applicant Owendoher Developments Ltd.,

Development 9 three bedroomed and 38 two bedroomed townhouses,
associated site works and alterations to existing access
bridge.

Location Pump Services Ltd., Willsbrook Road, Rathfarnham, Dublin 14.

Floor Area 3506.000 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 12/01/98 /03/04/98

A Permission has been granted for the development described above,
subject to the following (30) Conditions.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by plans lodged on 03/04/98 and 07/04/98, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 That each proposed house be used as a single dwelling unit.

REASON:

To prevent unauthorised development.

- 3 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 4 That all necessary measures shall be taken by the contractor to protect the environmental quality of the Owendoher River. In this regard all requirements of the Eastern Regional Fisheries Board shall be ascertained and adhered to and the following shall apply:

- a) The existing morphology, bed material and vegetation shall be maintained.
- b) All run-off from earth works must be adequately settled before discharge to the waters.
- c) Cement and mixer washings shall not be discharged to the river.
- d) All works which would have a detrimental impact on the river shall be carried out during the period May-December unless otherwise agreed with the Eastern Regional Fisheries Board.

REASON

To protect the environmental quality of the Owendoher River in the interest of amenities and the proper planning and development of the area.

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- 5 That unit 36 be omitted from the development and the house plan of unit 35 be amended to reflect its position adjoining the public open space. Details to be agreed with the Planning Authority. The land which is the subject of Unit No. 36 to be developed as public open space.

REASON:

To provide an adequate standard of open space for the development and in the interest of amenity.

- 6 That no bedroom be less than 6.5 sq.m. and in this regard the proposed first floor layouts of the 3 bed units be revised accordingly.

REASON:

To ensure an adequate standard of development.

- 7 First floor gable end windows save as may be required by Condition No. 5 be of obscured glass.

REASON:

To ensure an adequate standard of development.

- 8 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON:

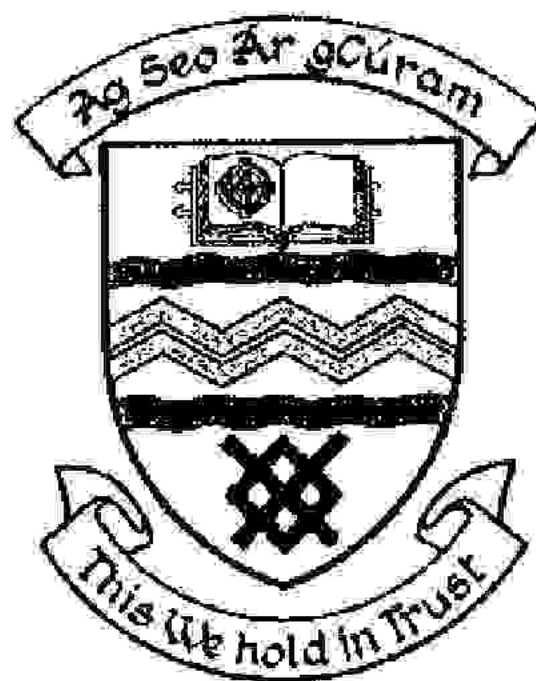
In the interest of amenity.

- 9 That public lighting be provided as each street is occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard required by South Dublin County Council.

REASON:

In the interest of amenity and public safety.

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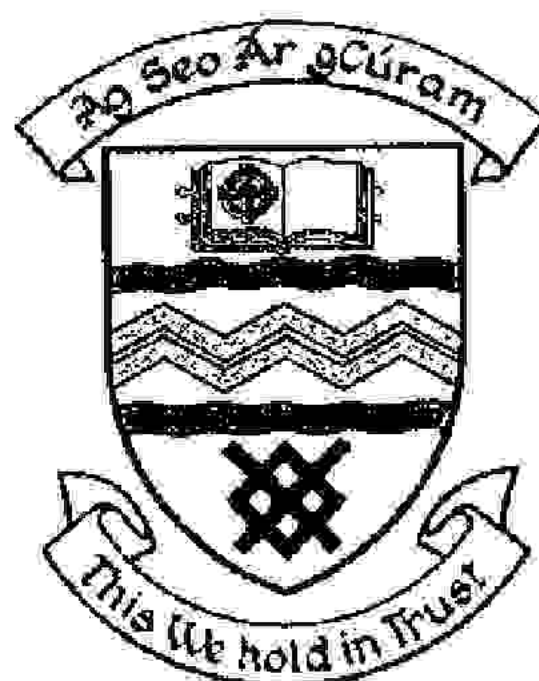
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- 10 That no dwellinghouse be occupied until all the services have been connected thereto and are operational.
 REASON:
 In the interest of the proper planning and development of the area.
- 11 In respect of the vehicular entrance including details of visibility splays on the north side and structural details, all details shall be in accordance with the requirements of the Planning Authority (Roads Department) This may require an extension southwards of the bridge. All details to be submitted for written agreement with the Planning Authority.
 REASON:
 In the interest of safety.
- 12 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council and in this regard the following shall apply:-
- a) In respect of foul and surface water drainage:-
 - applicant to ensure full and proper separation of foul and surface water systems.
 - all pipes to be laid with minimum cover of 1.2m in roads, footpaths and driveways, where it is not possible to achieve this cover pipes shall be bedded and surrounded in concrete 150mm thick.
 - b) In respect of foul sewer-
 - maximum number of houses on a 150mm drain is 8. Applicant to re-submit foul drainage layout in line with Building Regulations.
 - foul sewer across river to be incorporated within bridge structure.
 - c) In respect of surface water drainage:-
 - surface water to discharge to river at an angle downstream. Applicant to submit outfall details including protection to wings prior to construction.
 - bridge extension to be designed and certified by a chartered structural engineer. All details to be submitted for

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- prior agreement to the Planning Authority.
- all repairs to bridge as outlined in inspection report to be carried out.
- applicant to submit details of proposed structural supports in river bank to proposed footpath. Structure shall not inhibit the flow of the river and shall be in accordance with requirements of Eastern Regional Fisheries Board and the Planning Authority (Environmental Services Department)

(N.B. Applicant should note that any revision to the structure which would interfere with the river bed will require a separate grant of planning permission).

- d) Applicant to submit detailed proposed watermain layout indicating watermain sizes, valve, meter and hydrant layout, proposed point of connection to existing watermains. Layout to be in accordance with Part B of 1991 Building Regulations. Applicant to ensure that:

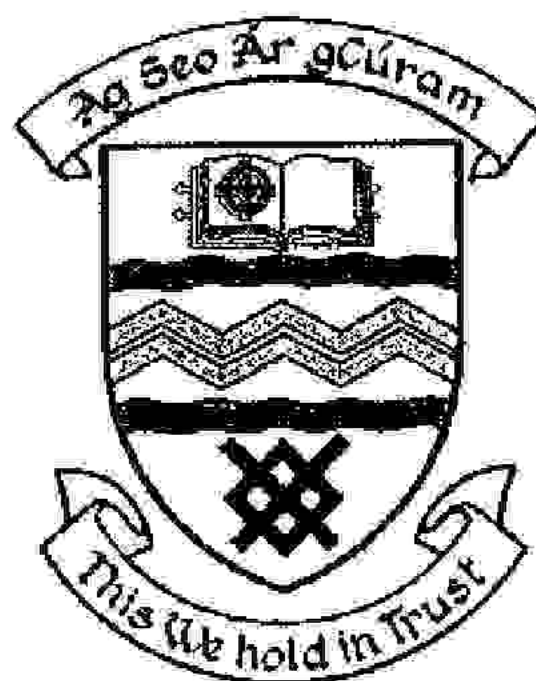
- (i) All watermains greater than 150mm diameter shall be Ductile Iron.
- (ii) No unit shall be greater than 50m from a hydrant.
- (iii) Watermains to be laid in public open space to ensure accessibility for maintenance and repair.
- (iv) No building to lie within 5m of watermains less than 225mm diameter and within 8m of watermains greater than 225mm diameter.
- (v) Spurs shall not end with a Duckfoot hydrant. To facilitate self-cleansing of watermains, spurs shall terminate with a loop.
- (vi) No service pipe shall be taken across roads.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 13 That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

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REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

- 14 That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.

REASON:

In the interest of the proper planning and development of the area.

- 15 That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.

REASON:

In the interest of the proper planning and development of the area.

- 16 That screen walls in block or similar durable materials not less than 2 metres high, suitably capped and rendered, be provided at the necessary locations so as to screen rear gardens from public view. The specific locations and extent of walling must be fully discussed and agreed with the County Council before construction. Timber fencing is not acceptable.

REASON:

In the interest of visual amenity.

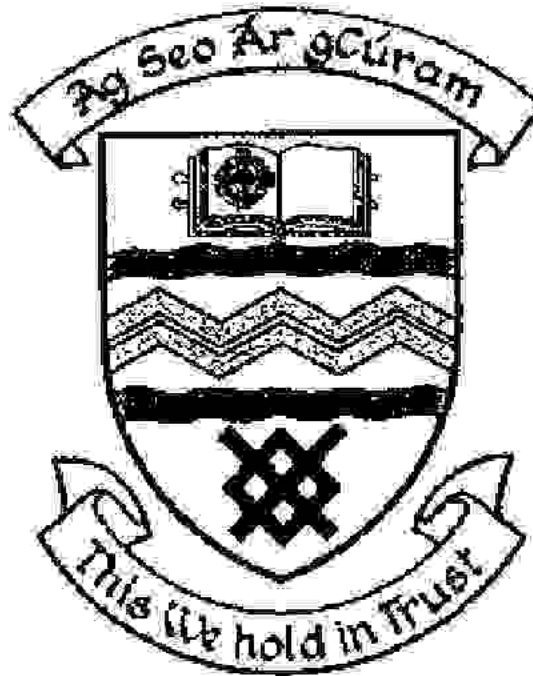
- 17 That refuse compounds be set back at least 2m from the west and south boundaries respectively and planting shall be provided between the compounds and the boundary walls of adjoining properties to the west and south of the proposed development. (This requires the adjustment of car park space no 29.)

REASON

In the interest of amenity.

- 18 That details of the Management Agreement for the maintenance and control of the site be submitted and agreed with the

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Planning Authority prior to the commencement of development.

REASON:

In the interest of the proper planning and development of the area.

- 19 In lieu of public open space being developed in accordance with Development Plan standards a financial contribution of £1,000 (one thousand pounds) per dwelling shall be paid to the Planning Authority prior to commencement of development to enable the provision of Open Space and recreational facilities in Rathfarnham Castle Park.

REASON

In the interest of the proper planning and development of the area.

- 20 A retaining wall to be provided from the central bole of the Birch trees in the rear gardens in order to retain existing soil levels. Details of location of retaining wall to be submitted for agreement with the Planning Authority prior to commencement of development on site.

REASON

To ensure preservation of existing Birch Trees, in the interest of amenity.

- 21 That the trees to be retained on site be protected by post and rail fencing which shall enclose at least the area of the crown spread. This shall be erected by the developer and agreed on site by an official from the Parks and Landscape Services Department prior to commencement of any other development on site.

REASON

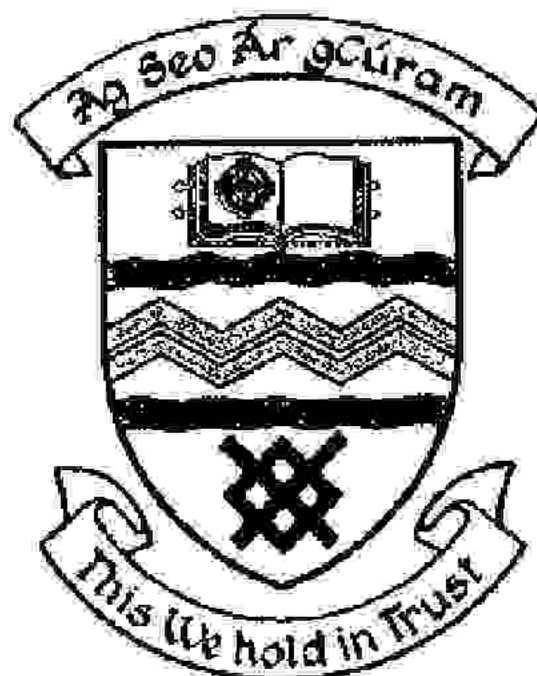
To ensure preservation of existing trees, in the interest of amenity.

- 22 A scheme of tree felling and surgery works based on the applicant's tree survey to be carried out prior to the commencement of works on site. All poplars to be removed.

REASON:

In the interest of amenity.

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- 23 A tree bond of £20,000 (twenty thousand pounds) to be lodged to South Dublin County Council prior to commencement of works on site to ensure the protection of trees to be retained on site. This bond shall be released twelve months after the completion of all site works once it has been ascertained that all trees specified for retention have been preserved.

REASON:

In the interest of amenity.

- 24 Where trees are to be removed along Willbrook Road they shall be replaced by trees with a minimum girth of 20-25cm. The species, quantity and location of replacement trees to be agreed with the Parks Department having regard to the requirements of the Eastern Regional Fisheries Board.

REASON:

In the interest of amenity.

- 25 No excavation to be carried out inside the existing roadside kerb on the west side of the river to ensure the preservation of mature trees.

REASON:

In the interest of amenity.

- 26 A high quality railing to be provided along the top of the west bank of the river for safety and details shall be discussed and agreed with the Planning Authority prior to commencement of development.

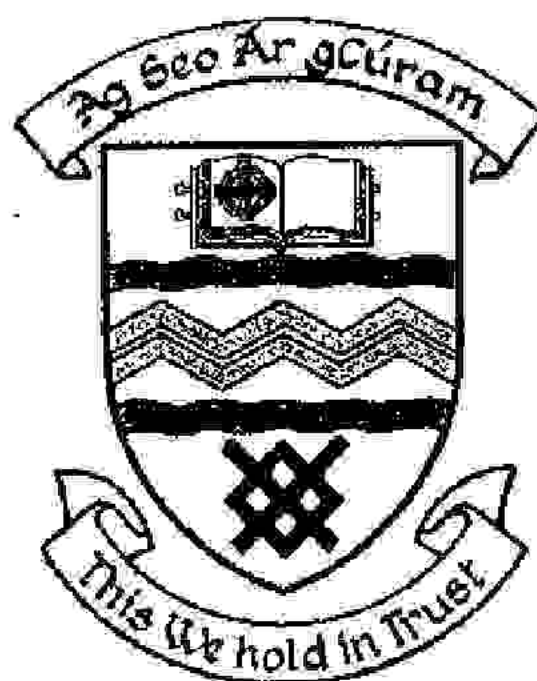
REASON:

In the interest of amenity and safety.

- 27 That a satisfactory scheme of landscaping, including full works specification and bill of quantities shall be submitted for agreement with the Planning Authority prior to commencement of development on site.

REASON:

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In the interest of the proper planning and development of the area.

- 28 That a financial contribution in the sum of £11,700 (eleven thousand seven hundred pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 29 That a financial contribution in the sum of money equivalent to the value of £1,420 (one thousand four hundred and twenty pounds) PER HOUSE as on 1st January, 1991, updated in accordance with the Wholesale Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 30 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains, has been given by:-

- a. Lodgement with the Council of an approved Insurance Company Bond in the sum of £56,000 (fifty six

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thousand pounds) until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.

Or./...

- b. Lodgement with the Council of a Cash Sum of £35,000 (thirty five thousand pounds) to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specifications.

Or./...

- c. Lodgement with the Planning Authority of a letter of guarantee issued by the Construction Industry Federation in respect of the proposed development, in accordance with the guarantee scheme agreed with Planning Authority.

REASON:

To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1991 amended 1994.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....13 August 1998
for SENIOR ADMINISTRATIVE OFFICER