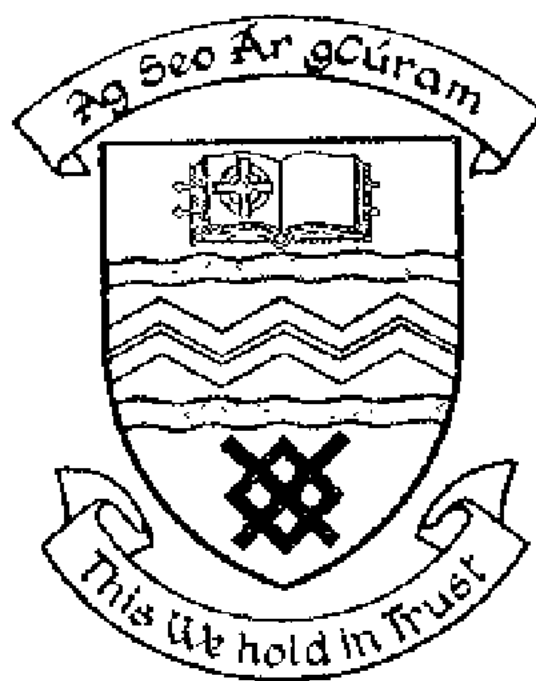


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S98A/0001	
1. Location	Unit 21 Cookstown Industrial Estate, Tallaght, Dublin 24.		
2. Development	New high bay industrial unit adjoining existing manufacturing/distribution unit and extension to existing administration offices at existing unit with new carparking layout and new fence to north and east boundaries.		
3. Date of Application	02/01/98	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 24/02/98 2.	1. 26/02/98 2.
4. Submitted by	Name: Dixon Mc Gaver Architects Address: 14 Lower Baggot Street, Dublin 2.		
5. Applicant	Name: Dermot Brennan Address: Macetown, Tara, Co. Meath		
6. Decision	O.C.M. No. 0700 Date 17/04/98	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 1022 Date 27/05/98	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar Date Receipt No.	

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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 Dublin 24

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Dixon Mc Gaver Architects
 14 Lower Baggot Street,
 Dublin 2.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 1022	Date of Final Grant 27/05/98
Decision Order Number 0700	Date of Decision 17/04/98
Register Reference S98A/0001	Date 26th February 1998

Applicant Dermot Brennan

Development New high bay industrial unit adjoining existing manufacturing/distribution unit and extension to existing administration offices at existing unit with new carparking layout and new fence to north and east boundaries.

Location Unit 21 Cookstown Industrial Estate, Tallaght, Dublin 24.

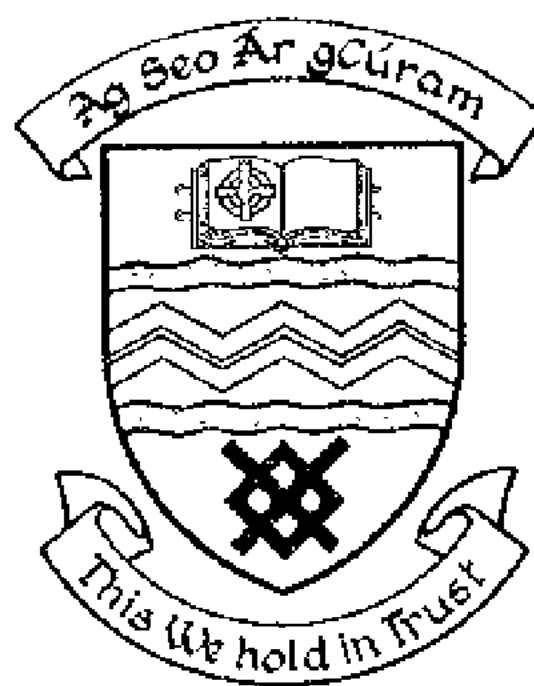
Floor Area 2037.000 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 24/02/98 /26/02/98

A Permission has been granted for the development described above,
 subject to the following (12) conditions.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Unsolicited Additional Information received by the Planning Authority on 19/01/98 and 23/02/98 and Additional Information received by the Planning Authority on 26/02/98, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.

REASON:

In the interest of health.

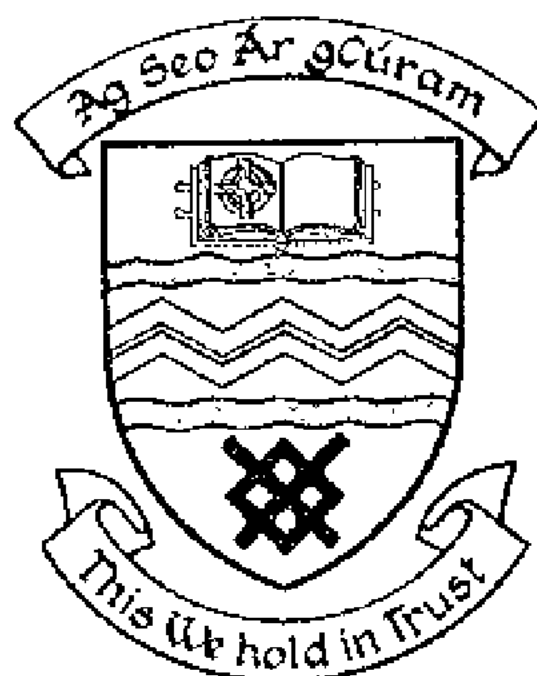
- 3 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council. In this regard, the following shall apply:-

- a) all waste water from institutional, business or commercial kitchens shall be routed via an appropriate grease trap to the foul sewer network;
- b) the applicant shall ensure the full and complete separation foul and surface water systems;
- c) 24-hour water storage shall be provided for each commercial unit;
- d) a separate metered water connection shall be provided for each unit;
- e) a spur fire main shall be constructed adjacent to the south-west elevation of the building. The connection shall be taken off the existing 100mm diameter main in the footpath on the north-west boundary of the property. The spur fire main shall end with a duckfoot hydrant;
- f) no building shall lie within 5m of watermain less than 225mm diameter and within 8m of watermain greater than 225mm diameter - see adjacent to north-east elevation of proposed extension.;
- g) no part of the perimeter of the building shall be greater than 60m from a fire hydrant.

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REASON:

In order to comply with the Sanitary Services Acts,
1878 - 1964.

- 4 That all watermain tapplings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

- 5 Prior to the commencement of development the applicant shall agree with the Area Engineer, Deansrath Depot, South Dublin County Council, a revised watermain layout showing watermain sizes, valve, meter and hydrant layout and proposed points of connection to existing watermains.

REASON:

In the interest of public health.

- 6 That no industrial effluent be permitted without prior approval from Planning Authority.

REASON:

In the interest of health.

- 7 The applicant shall enter into a wayleave agreement with respect to the foul sewer which traverses the site - prior to the commencement of development on site.

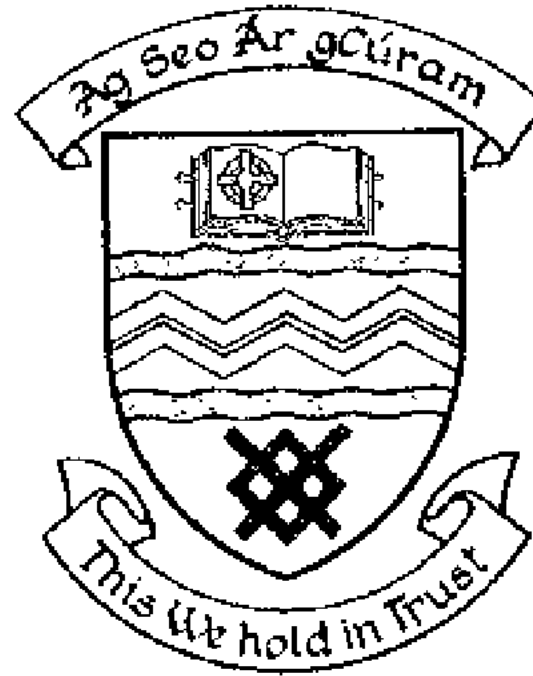
REASON:

In the interest of the proper planning and development of the area.

- 8 That off-street car parking facilities and parking for trucks be provided in accordance with the Development Plan Standards.

REASON:

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In the interest of the proper planning and development of the area.

- 9 That the area between the building and roads must not be used for truck parking or other storage or display purposes, but must be reserved for car parking and landscaping as shown on lodged plans.

REASON:

In the interest of the proper planning and development of the area.

- 10 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.

REASON:

In the interest of the proper planning and development of the area.

- 11 That a financial contribution in the sum of money equivalent to the value of £11,600 (eleven thousand six hundred pounds) as on 1st January, 1991, updated in accordance with the Wholesale Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

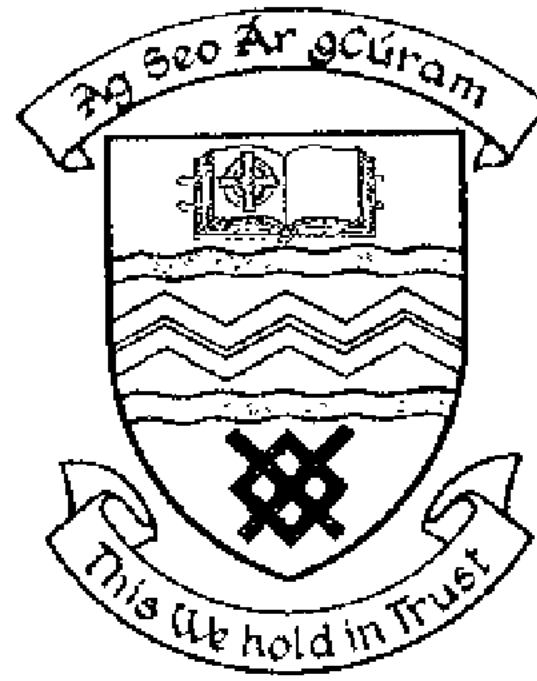
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 12 That a financial contribution in the sum of £16,445 (sixteen thousand, four hundred and forty five pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered

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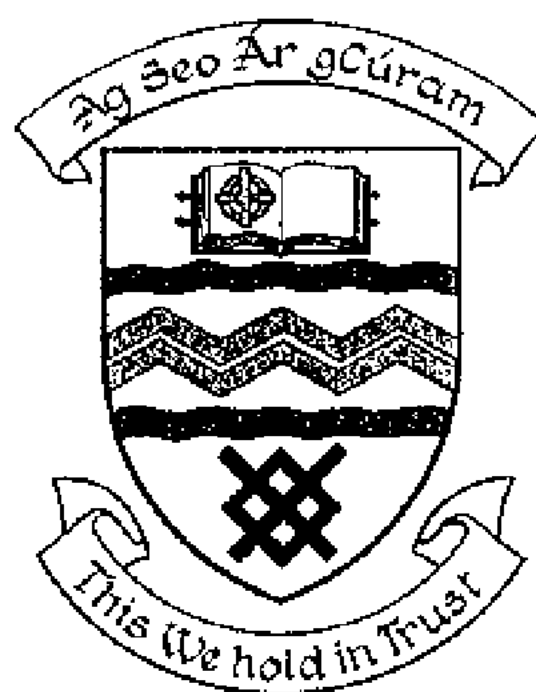
reasonable that the developer should contribute towards the
cost of providing the services.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1991 amended 1994.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....*Annette Daly*.....^{28th} May 1998
for SENIOR ADMINISTRATIVE OFFICER

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 0355	Date of Decision 24/02/98
Register Reference S98A/0001	Date 2nd January 1998

Applicant Dermot Brennan
Development New high bay industrial unit adjoining existing manufacturing/distribution unit and extension to existing administration offices at existing unit with new carparking layout and new fence to north and east boundaries.

Location Unit 21 Cookstown Industrial Estate, Tallaght, Dublin 24.

App. Type Permission

Dear Sir/Madam,

With reference to your planning application, received on 02/01/98 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1993, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

- 1 The applicant is requested to submit a detailed foul and surface water drainage layout to show existing and proposed services to include pipe sizes, gradients, invert and cover levels up to and including connection points to public mains.
- 2 The applicant is requested to show the position of the public foul sewer which traverses this site and to indicate willingness to enter into a wayleave agreement with respect to it.
- 3 The applicant is requested to submit details of the petrol/oil/diesel interceptor on the surface water outfall and the pumping chamber in the lower level loading area.

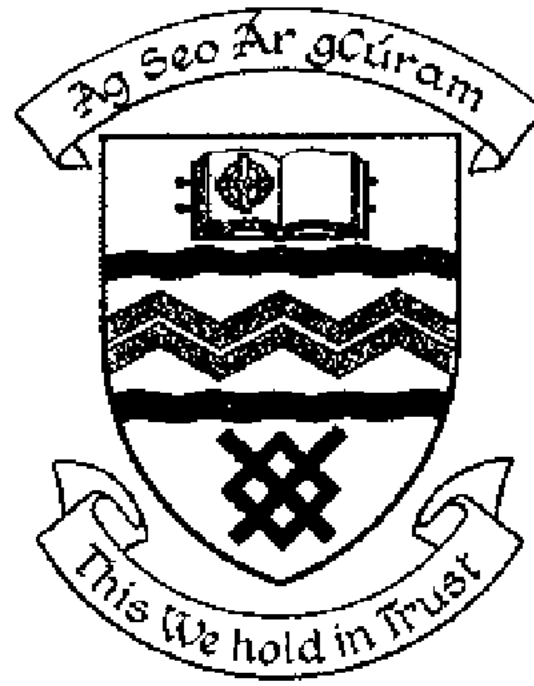
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- 4 The applicant is requested to submit a detailed watermain layout for the entire site to show pipe sizes, valves, meters, hydrants and connection point(s) to public mains.
- 5 The applicant is requested to submit a sample elevation and cross section of the proposed roadside boundary railings.
- 6 The applicant is requested to submit a sample/colour brochure for the external cladding of the proposed warehouse together with proposed colour(s).
- 7 The applicant is requested to submit any proposals for new signage on this site. If not available, then a separate planning application at a later stage is required for signage.

signed on behalf of South Dublin County Council

.....
for Senior Administrative Officer

24/02/98