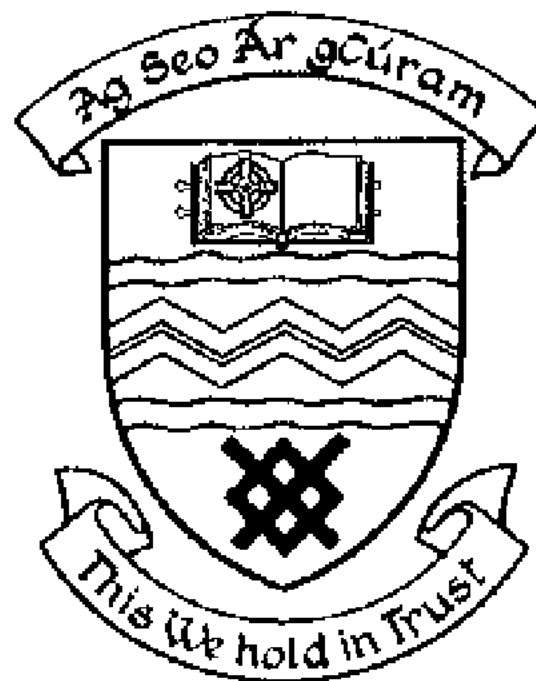


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S98A/0006	
1. Location	4 John F. Kennedy Avenue, John F. Kennedy Industrial Estate, Naas Road, Dublin 12.		
2. Development	Two storey extension and associated drainage and siteworks to existing cash and carry premises.		
3. Date of Application	05/01/1998	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 28/04/1998 2.	1. 22/12/1998 2.
4. Submitted by	Name: Kieran Barry & Associates, Address: River Road, Blanchardstown,		
5. Applicant	Name: Sean Fitzpatrick Wholesale Limited, Address: 4 John F. Kennedy Avenue, John F. Kennedy Industrial Estate, Naas Road, Dublin 12.		
6. Decision	O.C.M. No. 0345 Date 19/02/1999	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 0658 Date 01/04/1999	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar Date Receipt No.	

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Kieran Barry & Associates,
River Road,
Blanchardstown,
Dublin 15.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 0658	Date of Final Grant 01/04/1999
Decision Order Number 0345	Date of Decision 19/02/1999
Register Reference S98A/0006	Date 22nd December 1998

Applicant Sean Fitzpatrick Wholesale Limited,

Development Two storey extension and associated drainage and siteworks to existing cash and carry premises.

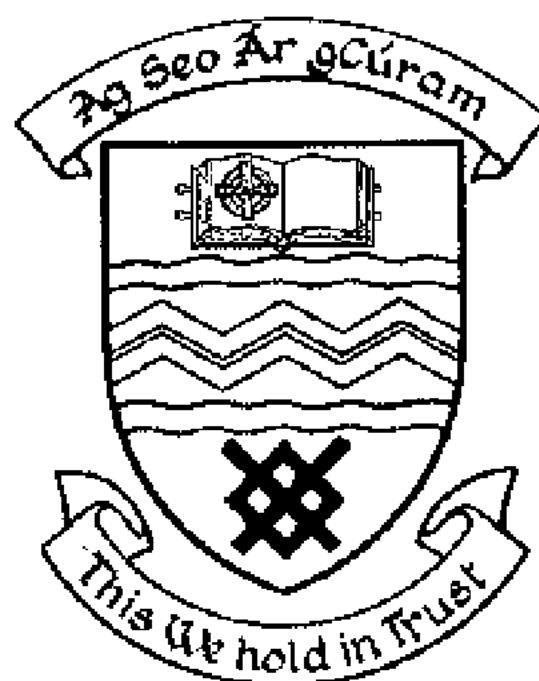
Location 4 John F. Kennedy Avenue, John F. Kennedy Industrial Estate, Naas Road, Dublin 12.

Floor Area 6556.00 **Sq Metres**
Time extension(s) up to and including
Additional Information Requested/Received 28/04/1998 /22/12/1998

A Permission has been granted for the development described above,
subject to the following (13) Conditions.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as revised by additional information received on 22/12/98 and 08/02/99, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That the layout of the proposed development shall be as shown on drawing No. 111-P103 received 22/12/98.
REASON:
In the interest of clarity.
- 3 That the signs on the south and west elevations and the free-standing sign shown adjacent to the Kileen Road entrance to the site shall be omitted. Any new signs shall be the subject of a separate planning application.
REASON:
The signage indicated on lodged plans is not adequately detailed and is not included in the description of the proposed development as advertised and submitted and does not form part of the application.
- 4 That full details of all external lighting shall be submitted for the written agreement of the Planning Authority prior to development commencing. In this regard all such lighting shall be designed and installed so as to ensure that adequate precautions are taken to prevent nuisance glare to road users and adjoining occupiers.
REASON:
In the interest of the proper planning and development of the area.
- 5 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.
REASON:
In the interest of health.
- 6 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.

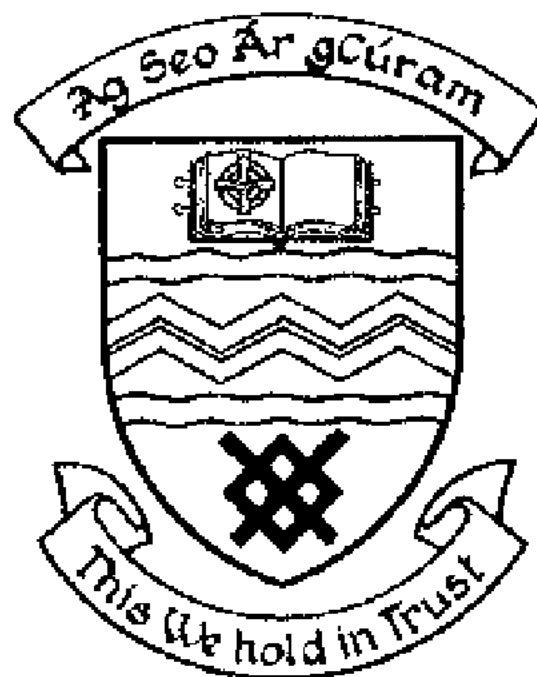
SOUTH DUBLIN COUNTY COUNCIL

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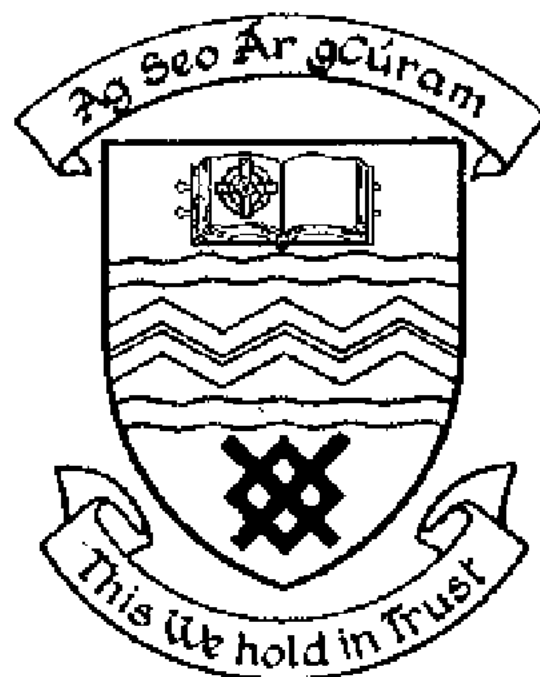
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- 7 That off-street car parking facilities and parking for trucks be provided in accordance with the Development Plan Standards.
REASON:
In the interest of the proper planning and development of the area.
- 8 That the area between the building and roads must not be used for truck parking or other storage or display purposes, but must be reserved for car parking and landscaping as shown on lodged plans.
REASON:
In the interest of the proper planning and development of the area.
- 9 That a financial contribution in the sum of money equivalent to the value of £12,000 (twelve thousand pounds) as on 1st January, 1991, updated in accordance with the Wholesale Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.
REASON:
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.
- 10 That the following requirements of the Roads Department shall be complied with:-
 - (a) Stone parapet wall over drainage culvert and earth mound to rear of same, on north side of entrance, to be removed, to obtain an adequate sight line in this direction. The Area within applicants control thus cleared to be graded, levelled, top soiled, grassed and kept free of other vegetation to maintain vision northwards.
 - (b) Precast or cast-in-situ concrete kerb lines, to a radius of not less than 10m, to be constructed around the applicants entrance. That to the south should tie in to the existing kerb which has been extended on the eastern side of Killeen Rod from the new roundabout. On the northern side of the kerb

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- line will be required to follow the edge of the public carriageway and terminate in sloped section, to become flush with the road surface.
- (c) The first 6m of the entrance driveway to have a gradient not greater than 2.5% from the edge of the public road. The entrance apron to be constructed against a saw cut edge where it abuts the public road;
 - (d) No surface water run-off from site to discharge onto the public road;
 - (e) Gate and fence to be set back to building line of building on adjacent site to the north.

REASON:

In the interest of the proper planning and development of the area.

- 11 That boundary treatment to adjoining public roads shall comprise of a railing on a dwarf wall to an overall height of 2 metres. A 1.5 metre planted strip shall be provided within the site adjoining roadside boundaries.

REASON:

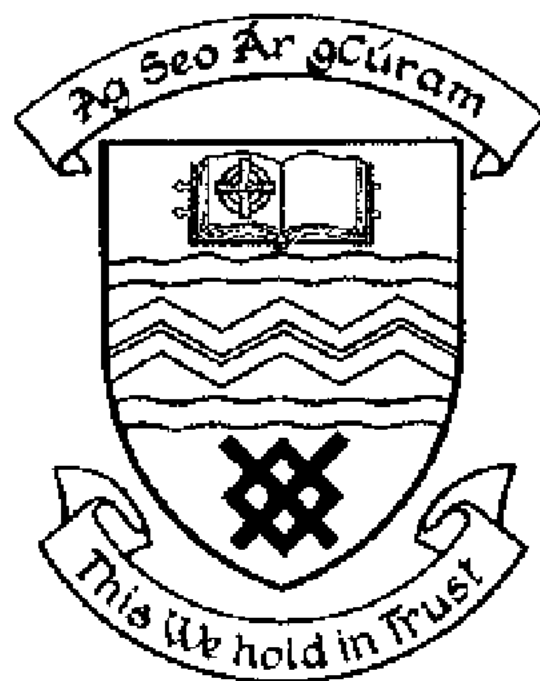
In the interest of amenity.

- 12 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. In this regard the following requirements of the Environmental Services Department shall be complied with as part of the proposed development:-

- (a) Applicant to ensure full and complete separation of foul and surface water systems;
- (b) All pipes to be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick;
- (c) No discharge of trade effluent to sewer shall be permitted without the applicant first obtaining from the Environmental Services Department, a licence under Section 16 of the Water Pollution Acts 1977-1990;
- (d) All surface water runoff from truck parking/ marshalling areas shall be routed via a petrol/oil/ diesel interceptor before discharging to the public sewer;
- (e) Applicant to submit a detailed programme of works for the exposure of the Camac Culvert, and the carrying out of remedial works as recommended in the

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- report by Kavanagh Mansfield and Partners,
(submitted as Additional Information on 4th
February, 1993 to Reg. Ref. 92A/0934) and the
procedure for determining the structural integrity
of the culvert to carry heavy lorries. This
information to be submitted for the written
agreement of the Planning Authority prior to
commencement of development on site;
- (f) Prior to the commencement of the works, applicant
shall submit for the approval of the Area Engineer,
Deansrath Depot (tel (01) 4570784) a watermain
layout drawing. Drawing to indicate proposed
watermain sizes, valve, meter and hydrant layout,
proposed points of connection to existing
watermains. Layout shall be in accordance with Part
B of the 1997 Building Regulations;
- (g) All watermains greater than 150mm diameter shall be
Ductile Iron;
- (h) Watermains to be laid in public open space to ensure
accessibility for maintenance and repair;
- (i) No building to lie within 5m of watermains less than
225mm diameter and within 8m of watermains greater
than 225mm diameter;
- (j) To facilitate self-cleaning of watermains, where
possible, spurs shall terminate with a loop.
Otherwise spurs shall end with a Duckfoot hydrant.

REASON:

In the interest of the proper planning and development of
the area.

- 13 That a financial contribution in the sum of £25,148 (twenty
five thousand one hundred and forty eight pounds) be paid by
the proposer to South Dublin County Council towards the cost
of provision of public services in the area of the proposed
development and which facilitate this development; this
contribution to be paid before the commencement of
development on the site.

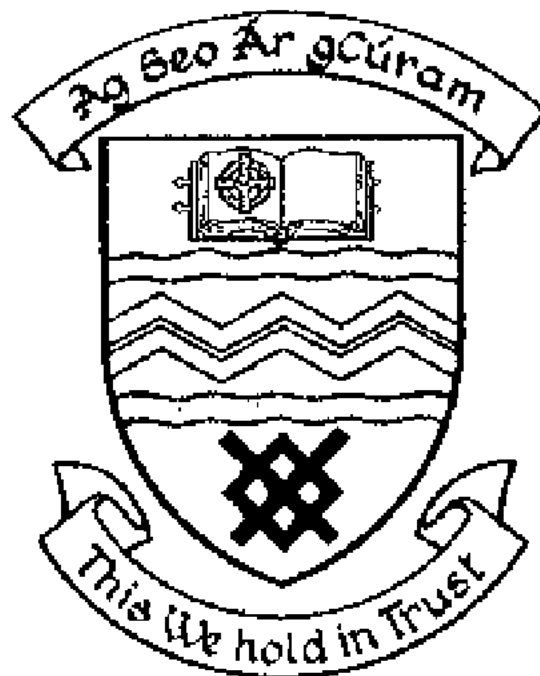
REASON:

The provision of such services in the area by the Council
will facilitate the proposed development. It is considered
reasonable that the developer should contribute towards the
cost of providing the services.

- (1) All buildings must be designed and constructed in accordance with the Building
Regulations 1991 amended 1994.

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- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

Angus Scully 7th April 1999
for SENIOR ADMINISTRATIVE OFFICER

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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 0345	Date of Decision 19/02/1999
Register Reference S98A/0006	Date: 05/01/1998

Applicant Sean Fitzpatrick Wholesale Limited,
Development Two storey extension and associated drainage and siteworks
to existing cash and carry premises.
Location 4 John F. Kennedy Avenue, John F. Kennedy Industrial Estate,
Naas Road, Dublin 12.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 28/04/1998 /22/12/1998

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (13) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

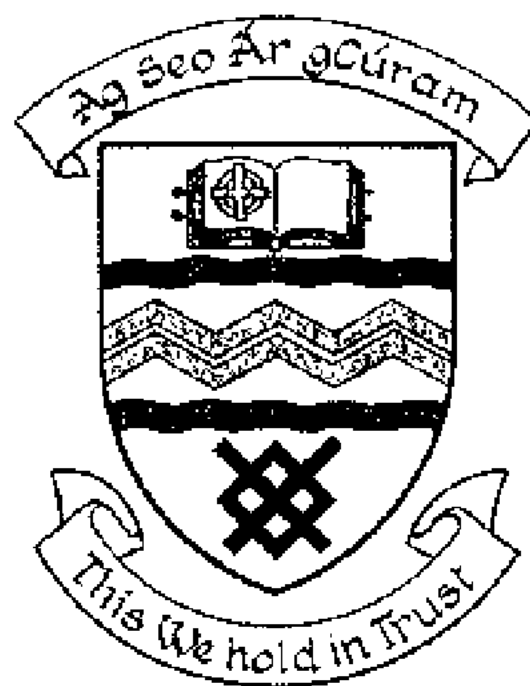
LH
..... 19/02/1999
for SENIOR ADMINISTRATIVE OFFICER

Kieran Barry & Associates,
River Road,
Blanchardstown,
Dublin 15.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as revised by additional information received on 22/12/98 and 08/02/99, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That the layout of the proposed development shall be as shown on drawing No. 111-P103 received 22/12/98.
REASON:
In the interest of clarity.
- 3 That the signs on the south and west elevations and the free-standing sign shown adjacent to the Kileen Road entrance to the site shall be omitted. Any new signs shall be the subject of a separate planning application.
REASON:
The signage indicated on lodged plans is not adequately detailed and is not included in the description of the proposed development as advertised and submitted and does not form part of the application.
- 4 That full details of all external lighting shall be submitted for the written agreement of the Planning Authority prior to development commencing. In this regard all such lighting shall be designed and installed so as to ensure that adequate precautions are taken to prevent nuisance glare to road users and adjoining occupiers.
REASON:
In the interest of the proper planning and development of the area.
- 5 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.
REASON:
In the interest of health.

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- 6 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 7 That off-street car parking facilities and parking for trucks be provided in accordance with the Development Plan Standards.
REASON:
In the interest of the proper planning and development of the area.
- 8 That the area between the building and roads must not be used for truck parking or other storage or display purposes, but must be reserved for car parking and landscaping as shown on lodged plans. .
REASON:
In the interest of the proper planning and development of the area.
- 9 That a financial contribution in the sum of money equivalent to the value of £12,000 (twelve thousand pounds) as on 1st January, 1991, updated in accordance with the Wholesale Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.
REASON:
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.
- 10 That the following requirements of the Roads Department shall be complied with:-

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- (a) Stone parapet wall over drainage culvert and earth mound to rear of same, on north side of entrance, to be removed, to obtain an adequate sight line in this direction. The Area within applicants control thus cleared to be graded, levelled, top soiled, grassed and kept free of other vegetation to maintain vision northwards.
- (b) Precast or cast-in-situ concrete kerb lines, to a radius of not less than 10m, to be constructed around the applicants entrance. That to the south should tie in to the existing kerb which has been extended on the eastern side of Killeen Rod from the new roundabout. On the northern side of the kerb line will be required to follow the edge of the public carriageway and terminate in sloped section, to become flush with the road surface.
- (c) The first 6m of the entrance driveway to have a gradient not greater than 2.5% from the edge of the public road. The entrance apron to be constructed against a saw cut edge where it abuts the public road;
- (d) No surface water run-off from site to discharge onto the public road;
- (e) Gate and fence to be set back to building line of building on adjacent site to the north.

REASON:

In the interest of the proper planning and development of the area.

- 11 That boundary treatment to adjoining public roads shall comprise of a railing on a dwarf wall to an overall height of 2 metres. A 1.5 metre planted strip shall be provided within the site adjoining roadside boundaries.

REASON:

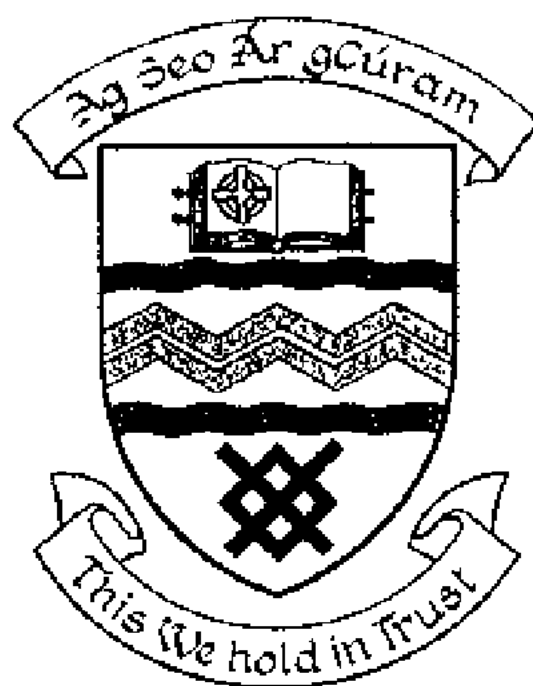
In the interest of amenity.

- 12 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. In this regard the following requirements of the Environmental Services Department shall be complied with as part of the proposed development:-

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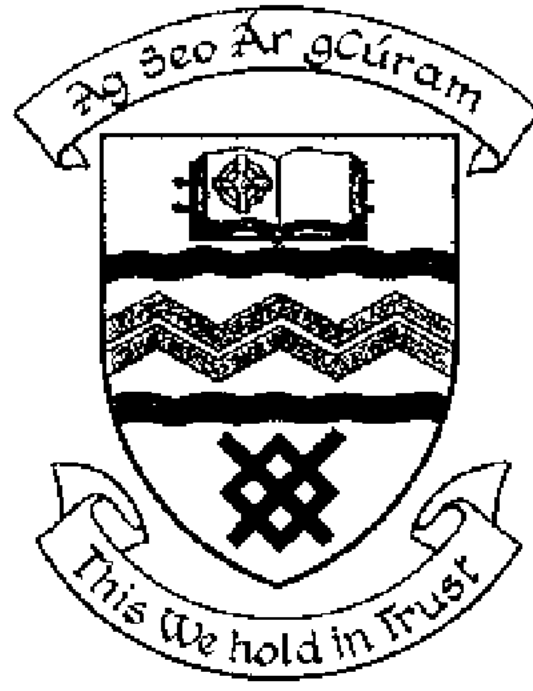
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- (a) Applicant to ensure full and complete separation of foul and surface water systems;
- (b) All pipes to be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick;
- (c) No discharge of trade effluent to sewer shall be permitted without the applicant first obtaining from the Environmental Services Department, a licence under Section 16 of the Water Pollution Acts 1977-1990;
- (d) All surface water runoff from truck parking/marshalling areas shall be routed via a petrol/oil/diesel interceptor before discharging to the public sewer;
- (e) Applicant to submit a detailed programme of works for the exposure of the Camac Culvert, and the carrying out of remedial works as recommended in the report by Kavanagh Mansfield and Partners, (submitted as Additional Information on 4th February, 1993 to Reg. Ref. 92A/0934) and the procedure for determining the structural integrity of the culvert to carry heavy lorries. This information to be submitted for the written agreement of the Planning Authority prior to commencement of development on site;
- (f) Prior to the commencement of the works, applicant shall submit for the approval of the Area Engineer, Deansrath Depot (tel (01) 4570784) a watermain layout drawing. Drawing to indicate proposed watermain sizes, valve, meter and hydrant layout, proposed points of connection to existing watermains. Layout shall be in accordance with Part B of the 1997 Building Regulations;
- (g) All watermains greater than 150mm diameter shall be Ductile Iron;
- (h) Watermains to be laid in public open space to ensure accessibility for maintenance and repair;
- (i) No building to lie within 5m of watermains less than 225mm diameter and within 8m of watermains greater than 225mm diameter;
- (j) To facilitate self-cleaning of watermains, where

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possible, spurs shall terminate with a loop.
Otherwise spurs shall end with a Duckfoot hydrant.

REASON:

In the interest of the proper planning and development of
the area.

- 13 That a financial contribution in the sum of £25,148 (twenty
five thousand one hundred and forty eight pounds) be paid by
the proposer to South Dublin County Council towards the cost
of provision of public services in the area of the proposed
development and which facilitate this development; this
contribution to be paid before the commencement of
development on the site.

REASON:

The provision of such services in the area by the Council
will facilitate the proposed development. It is considered
reasonable that the developer should contribute towards the
cost of providing the services.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 0808	Date of Decision 28/04/98
Register Reference S98A/0006	Date 5th January 1998

Applicant Sean Fitzpatrick Wholesale Limited,
Development Two storey extension and associated drainage and siteworks to existing cash and carry premises.

Location 4 John F. Kennedy Avenue, John F. Kennedy Industrial Estate,
Naas Road, Dublin 12.

App. Type Permission

Dear Sir/Madam,

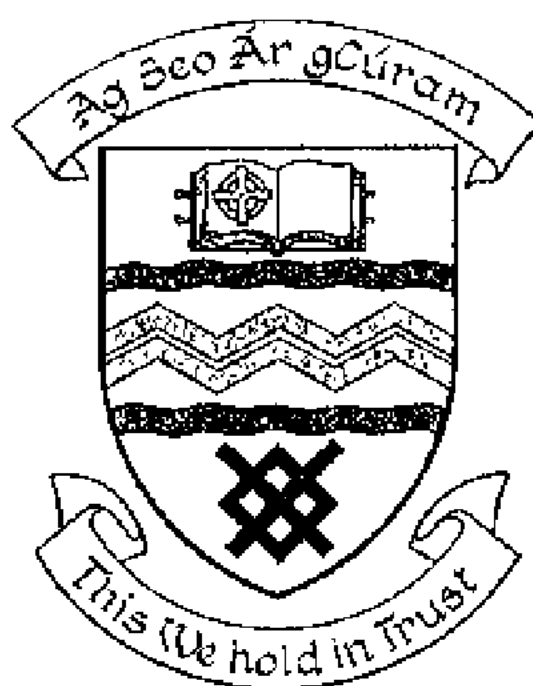
With reference to your planning application, received on 05/01/98 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1993, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

1. For the proposed foul and surface water drainage arrangements the applicant is requested to submit:
 - (a) Full details of the proposed systems to include pipe sizes, gradients, cover and invert levels up to and including connection to the public sewer to include provision for full separation of the foul and surface water systems:
 - (b) Documentary evidence of full compliance with the requirements set out under Condition No. 4 of the permission granted under Reg. Ref. 92A/0934 which states:-

"The applicant shall submit a detailed programme of works for the exposure of the Camac Culvert, and the carrying out of remedial works as recommended in the report by Kavanagh Mansfield and Partners, submitted as additional information on 4th February, 1993 and

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REG. REF. S98A/0006

the procedure determining the structural integrity of the culvert to carry heavy lorries. This information to be submitted for the written agreement of the Planning Authority prior to the commencement of development on site."

- (c) That it shall be ensured that blockages within the culvert of the site are removed and written confirmation to that effect shall be submitted to the Planning Authority.

NOTE : The applicant is advised to consult with the Environmental Services Department prior to submission.

- 2 The applicant is requested to submit a watermain layout to indicate watermain sizes, valve, meter and hydrant layout, proposed point of connection to existing watermains to be consistent with the following requirements :

- (a) All watermains greater than 150mm diameter to be in ductile iron;
- (b) No part of the perimeter of the building to be further than 60m in distance from a hydrant;
- (c) Watermains shall be laid in open space to ensure accessibility for maintenance and repair;
- (d) No building shall be within 5 metres of watermains which are less than 225mm diameter and 8mm of watermains in excess of 225mm diameter;
- (e) Spurs should terminate with a loop to facilitate self-cleansing of the mains, otherwise they should end with a Duckfoot hydrant.

The applicant is advised to consult with the Environmental Services Department prior to submission.

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~~REG. REF. S98A/0006~~

- 3 Access onto Killeen Road which is a heavily trafficked distributor road would give rise to traffic hazard. The proposed extension would generate a parking requirement of ninety spaces which according to current development standards would generate a total on site requirement of 197 spaces whereas there is provision for 142 spaces resulting in a shortfall of 28%. The applicant is requested to reconsider the proposal and to submit a layout drawing indicating how these problems may be overcome. In this regard the applicant should take account of the following requirements of the Roads Department :

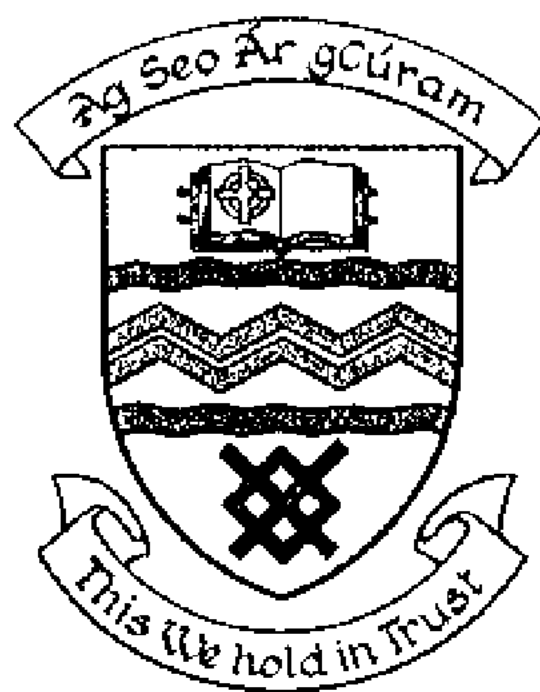
- (a) All access should be off John F. Kennedy Avenue (access onto Killeen Road is unacceptable);
- (b) The size of the building should be such that heavy vehicles have sufficient space to pass at its south western end;
- (c) On site parking provision should meet with current Development Plan standards, and
- (d) The road reservation for Killeen Road should be shown on the site layout plan and retained free of development. Treatment of the Killeen Road boundary to be indicated.

Signed on behalf of South Dublin County Council

.....
for Senior Administrative Officer

28/04/98

**SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**



Bosca 4122,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104

PLANNING
DEPARTMENT
P.O. Box 4122,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Order Number 0119	Date of Order 21/01/98
Register Reference S98A/0006	Date 5th January 1998

Applicant Sean Fitzpatrick Wholesale Limited,

Development Two storey extension and associated drainage and siteworks to existing cash and carry premises.

Location 4 John F. Kennedy Avenue, John F. Kennedy Industrial Estate, Naas Road, Dublin 12.

Dear Sir/Madam,

An inspection carried out on 14/01/98 has shown that the site notice erected in respect of your planning application does not comply with the requirements of the Local Government (Planning and Development) Regulations, 1994 as the site notice is attached to fence at right angle to public footpath and is not legible. Before this application can be considered, you must erect a new notice on the site or structure, and submit the following to this Department:

- (a) two copies of the text of the notice
- (b) two plans showing the position of the notice on the land or structure
- (c) a statement of the date on which the notice is erected

The notice must be maintained in position for at least one month and must fulfill the following conditions:-

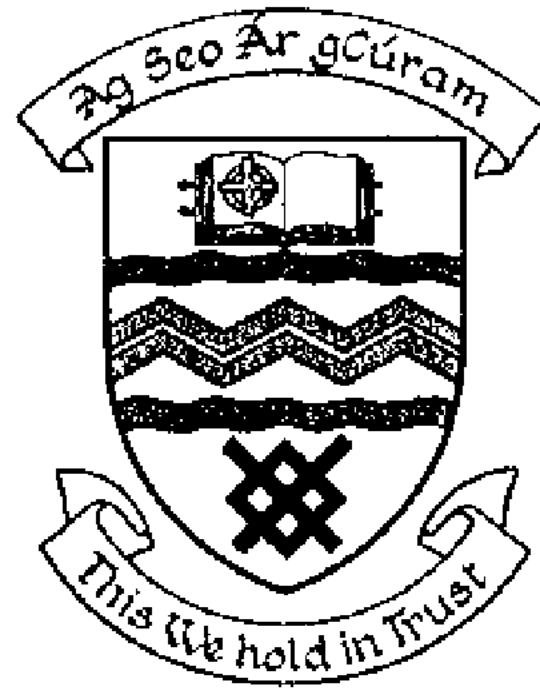
1. Must be durable material
2. Must be securely erected in a conspicuous position easily visible and legible by persons using the public road
3. Must be headed "Application to Planning Authority".
4. Must state:

Kieran Barry & Associates,
River Road,
Blanchardstown,
Dublin 15.

SOUTH DUBLIN COUNTY COUNCIL
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REG REF. S98A/0006

- (a) Applicant's name
- (b) whether application is for Permission, Outline Permission, or Approval.
- (c) nature and extent of development including number of dwellings (if any)
- (d) that the application may be inspected at the Planning Department, South Dublin County Council, Town Centre, Tallaght, Dublin 24.

No further consideration will be given to this application until you comply with these requirements.

Yours faithfully,

.....^{LB} 21/01/98
for Senior Administrative Officer.