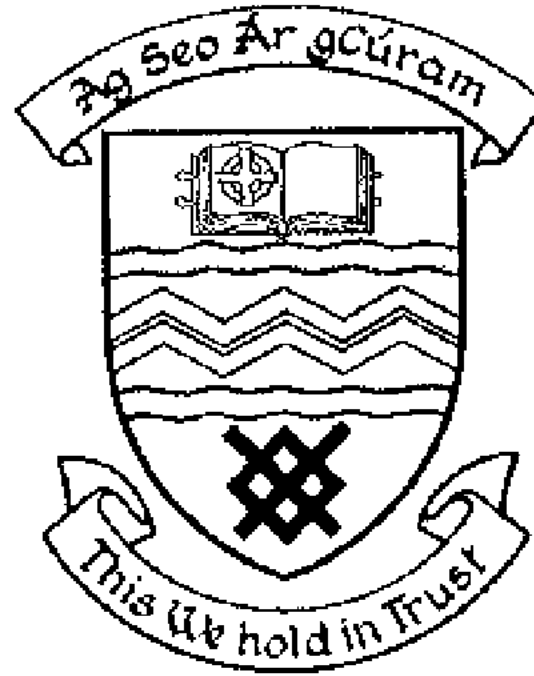


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S98A/0187	
1. Location	Superquinn Centre, Newcastle Road, Esker, Lucan, Co. Dublin.		
2. Development	Modifications to previously approved plans Reg. Ref. 92A/1657-EP involving relocation of library space to first floor, additional drapery space 754 m.sq., and ancillary staff accommodation at first floor, additional office space, change of use from restaurant to office and retention of existing office space, minor height and elevational changes.		
3. Date of Application	27/03/98	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 22/04/98 2.	1. 27/04/98 2.
4. Submitted by	Name: Keane Murphy Duff Architecture, Address: 4 Princes Street South, City Quay,		
5. Applicant	Name: Superquinn, Address: P.O. Box 99, Support Office, Sutton Cross, Dublin 13.		
6. Decision	O.C.M. No. 1264 Date 25/06/98	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 1543 Date 06/08/98	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement Compensation Purchase Notice			
12. Revocation or Amendment			
13. E.I.S. Requested E.I.S. Received E.I.S. Appeal			
14.			

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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Lár an Bhaile, Tamhlacht
Baile Átha Cliath 24

Telefon: 01-414 9000
Facs: 01-414 9104

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Town Centre, Tallaght
Dublin 24

Telephone: 01-414 9000
Fax: 01-414 9104

Keane Murphy Duff Architecture,
4 Princes Street South,
City Quay,
Dublin 2.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 1543	Date of Final Grant 06/08/98
Decision Order Number 1264	Date of Decision 25/06/98
Register Reference S98A/0187	Date 27th April 1998

Applicant Superquinn,

Development Modifications to previously approved plans Reg. Ref. 92A/1657-EP involving relocation of library space to first floor, additional drapery space 754 m.sq., and ancillary staff accommodation at first floor, additional office space, change of use from restaurant to office and retention of existing office space, minor height and elevational changes.

Location Superquinn Centre, Newcastle Road, Esker, Lucan, Co. Dublin.

Floor Area 4110.000 Sq Metres

Time extension(s) up to and including

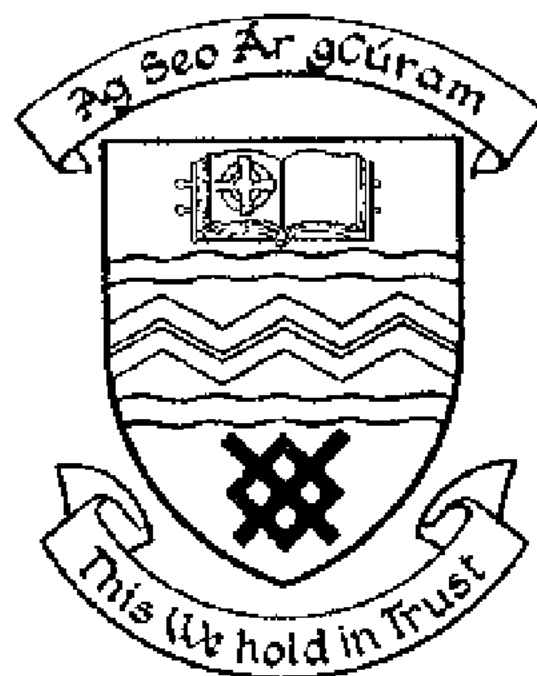
Additional Information Requested/Received 22/04/98 /27/04/98

A Permission has been granted for the development described above,
subject to the following (15) Conditions.

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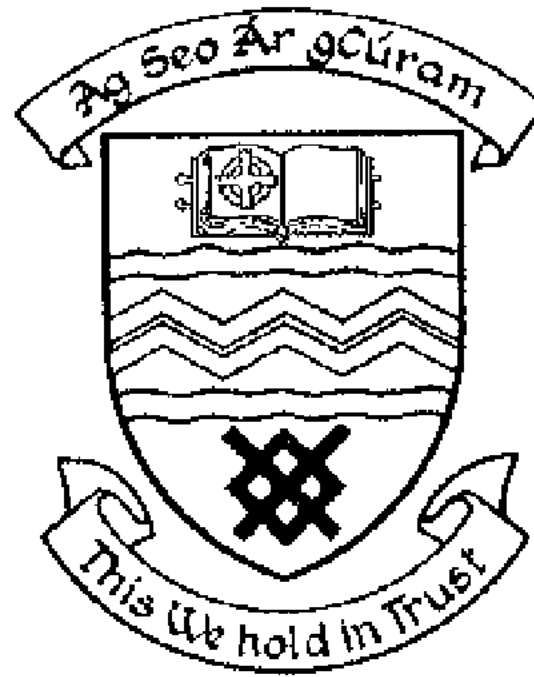
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 The external finishes to include materials, colours and roof materials shall match those of the existing building.
REASON:
In the interest of visual amenity.
- 3 Signage to the proposed shopfronts shall be restricted to the fascia level and shall be fixed to shopfronts only and beneath the level of the covered walkway. Lettering shall take the form of either hand painted traditional type lettering or individually mounted lettering. No letter to the fascias shall exceed 300mm in height. Light if required, shall be restricted to back lighting of individual letters or strip lighting concealed at fascia level. Internal illumination is not acceptable.
REASON:
In the interest of the control of advertising with respect to visual amenities of the area.
- 4 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.
REASON:
In the interest of the proper planning and development of the area.
- 5 Roller shutters, if provided shall be located behind display window and be of the perforated (eg. visi-screen) type and shall be coloured to match the colour of the shop front. Display windows to the shop shall remain illuminated between the hours of public lighting time and mid-night on each day.
REASON:
In the interest of visual amenity and to ensure that the perforated roller shutters are effective.

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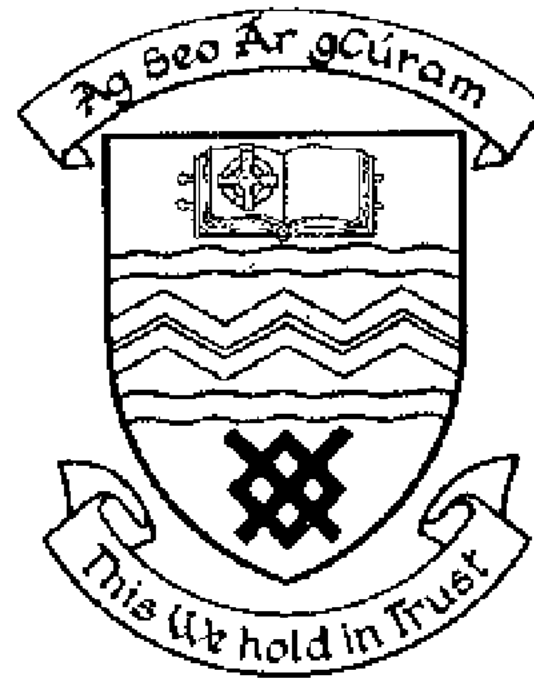
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- 6 That the library and department store shall not be open to the public before the underground car parking for which planning permission has been granted under Reg. Ref. S97A/0457 is completed and is fully operational.
REASON:
In the interest of the proper planning and development of the area.
- 7 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council. In this regard, the applicant shall submit full details of the proposed drainage arrangements to include pipe sizes, gradients, cover and invert levels up to and including connection to the public sewer. There shall be full and complete separation of the foul and surface water systems and no building shall be positioned within five metres of a public sewer.
REASON:
In order to comply with the Sanitary Services Acts, 1878 - 1964.
- 8 During the construction phase of the development, on site operating times shall be restricted to the hours of 0800 and 1830 hours from Monday to Saturday inclusive, except as may be agreed in writing with the Planning Authority and shall otherwise comply with BS5228, 1984 "Noise Control on Construction and Demolition Sites" or any subsequent amendments to BS5228.
REASON:
To protect the amenity of the adjoining residential areas.
- 9 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site. Existing overhead cables shall be placed underground throughout the site.
REASON:
In the interest of visual amenity.

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- 10 Adequate provision is to be made to facilitate access to and the use of the development, buildings, facilities and services by disabled persons. The minimum requirements shall be in accordance with the standards set out in "Access for the Disabled - Minimum Design Criteria", published by the National Rehabilitation Board.

REASON:

In the interest of the proper planning and development of the area.

- 11 That no lighting shall be affixed to the south elevation of the extension.

REASON:

To protect the amenity of the adjoining residential development.

- 12 That the arrangements made with regard to the payment of financial contributions in respect of the overall development, as required by Condition No's. 15, 16 and 18 of Register Reference S97A/0457 be strictly adhered to in respect of this development.

REASON:

It is considered reasonable that the developer should contribute towards the cost of providing services and to ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

- 13 That a financial contribution in the sum of money equivalent to the value of £57,510 (fifty seven thousand five hundred and ten pounds) as on 1st January, 1991, updated in accordance with the Wholesale Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or

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that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 14 That a financial contribution in the sum of £15,202 (fifteen thousand two hundred and two pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 15 That a financial contribution in the sum of £2,543 (two thousand five hundred and forty three pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid on receipt of final grant of permission.

REASON:

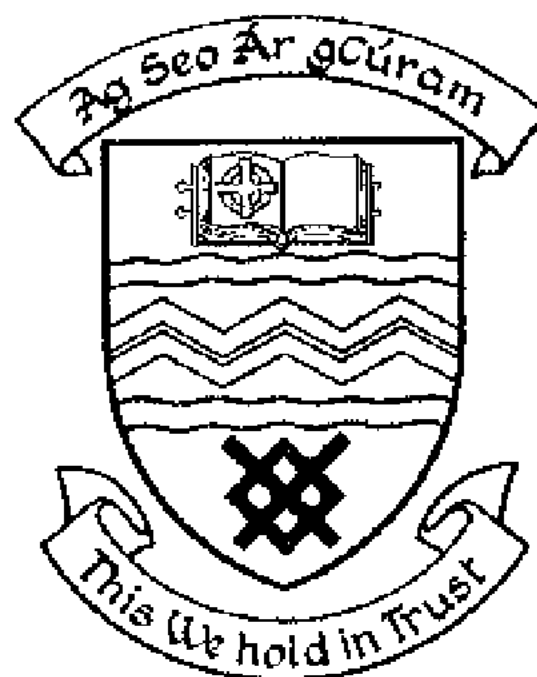
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1991 amended 1994.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.

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- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....7. August 1998
for SENIOR ADMINISTRATIVE OFFICER

SOUTH DUBLIN COUNTY COUNCIL
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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Order Number 0756	Date of Order 22/04/98
Register Reference S98A/0187	Date 27th March 1998

Applicant Superquinn,

Development Modifications to previously approved plans Reg. Ref. 92A/1657-EP involving relocation of library space to first floor, additional drapery space 754 m.sq., and ancillary staff accommodation at first floor, additional office space, change of use from restaurant to office and retention of existing office space, minor height and elevational changes.

Location Superquinn Centre, Newcastle Road, Esker, Lucan, Co. Dublin.

Dear Sir/Madam,

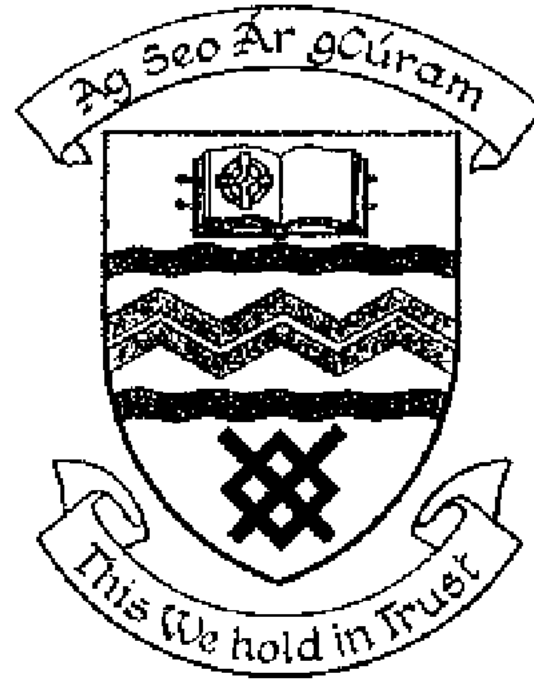
An inspection carried out on the 16/04/98 has shown that a site notice was not erected in respect of your planning application. Before this application can be considered, you must erect a notice on the site or structure, and submit the following to the Department:

- (a) two copies of the text of the notice
- (b) two plans showing the position of the notice on the land or structure
- (c) a statement of the date on which the notice is erected

The notice must be maintained in position for at least one month and must fulfill the following conditions:-

1. Must be durable material
 2. Must be securely erected in a conspicuous position easily visible and legible by persons using the public road
- Keane Murphy Duff Architecture,
4 Princes Street South,
City Quay,
Dublin 2.

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REG REF. S98A/0187

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-
3. Must be headed "Application to Planning Authority".
4. Must state:

- (a) Applicant's name
- (b) whether application is for Permission, Outline Permission, or Approval.
- (c) nature and extent of development including number of dwellings (if any)
- (d) that the application may be inspected at the Planning Department, South Dublin County Council, Town Centre, Tallaght, Dublin 24.

No further consideration will be given to this application until you comply with these requirements.

Yours faithfully,


..... 22/04/98
for Senior Administrative Officer.