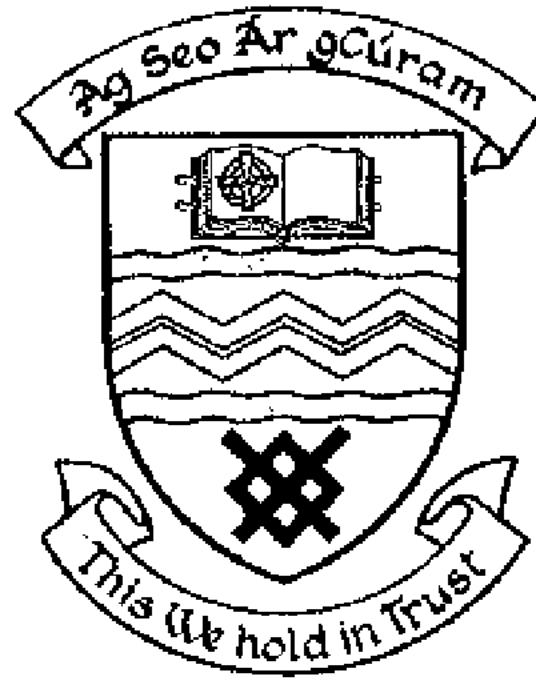


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S98A/0198	
1. Location	Site adjoining Tallaght Auto-Parts, Old Blessington Road, Tallaght Town Centre, Tallaght, Dublin 24.		
2. Development	Residential development of 14 no. 2 bedroom and 1 no. 1 bedroom apartments in a 3 storey block.		
3. Date of Application	01/04/1998	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 28/05/1998 2.	1. 10/11/1998 2.
4. Submitted by	Name: Laurence Pierce Architects, Address: 79 Eccles Street, Dublin 7		
5. Applicant	Name: Turlough Hammill and Michael Cosgrave, Address: Tallaght Auto-Parts, Old Blessington Road, Tallaght TownCentre, Tallaght, Dublin 24.		
6. Decision	O.C.M. No. 0026 Date 08/01/1999	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 0397 Date 19/02/1999	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar Date Receipt No.	

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Laurence Pierce Architects,
79 Eccles Street,
Dublin 7

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 0397	Date of Final Grant 19/02/1999
Decision Order Number 0026	Date of Decision 08/01/1999
Register Reference S98A/0198	Date 10th November 1998

Applicant Turlough Hammill and Michael Cosgrave,

Development Residential development of 14 no. 2 bedroom and 1 no. 1 bedroom apartments in a 3 storey block.

Location Site adjoining Tallaght Auto-Parts, Old Blessington Road, Tallaght Town Centre, Tallaght, Dublin 24.

Floor Area 868.60 Sq Metres

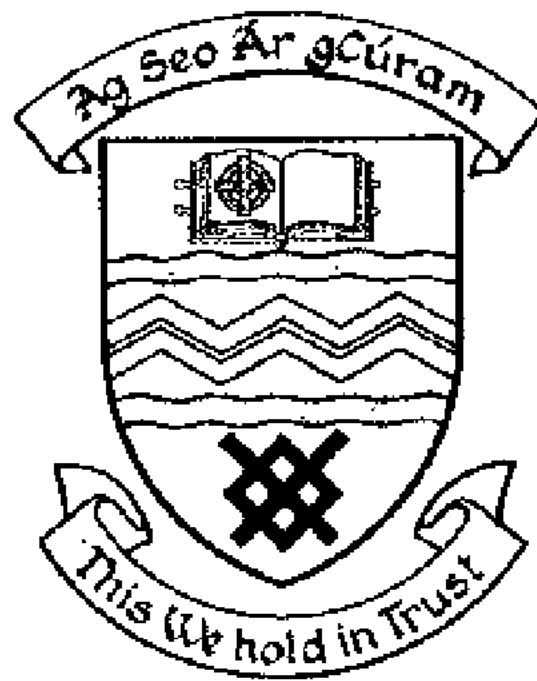
Time extension(s) up to and including

Additional Information Requested/Received 28/05/1998 /10/11/1998

A Permission has been granted for the development described above,
subject to the following (18) Conditions.

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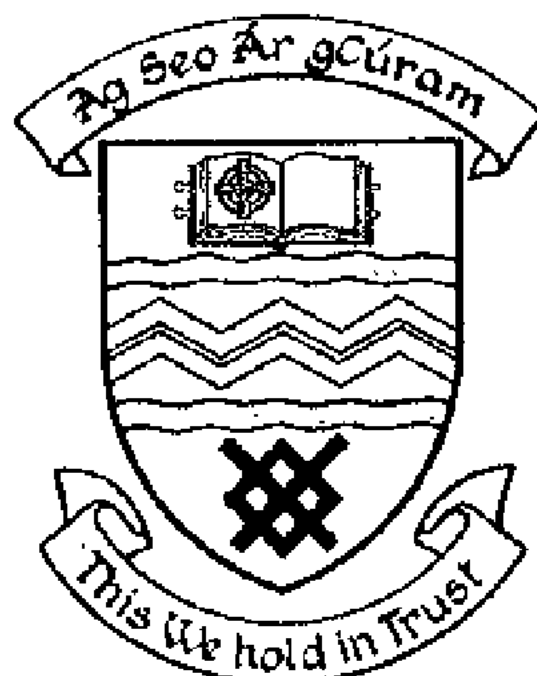
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application and in accordance with additional information received on 10/11/98, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
REASON:
In order to comply with the Sanitary Services Acts, 1878-1964.
- 3 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 4 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
REASON:
In the interest of amenity.
- 5 That no apartment be occupied until all the services have been connected thereto and are operational.
REASON:
In the interest of the proper planning and development of the area.
- 6 That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.
REASON:
In the interest of the proper planning and development of the area.

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- 7 That all watermain tapplings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

- 8 That an acceptable apartment naming and numbering scheme be submitted to an approved by the South Dublin County Council before any constructional work takes place on the proposed development.

REASON:

In the interest of the proper planning and development of the area.

- 9 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

REASON:

In the interest of reducing air pollution.

- 10 That the car parking areas shown on site layout plan drawing no. 97.22.04P received 10/11/98 shall be clearly marked out on site, and shall be available at all times for car parking use and shall not be used for storage or display or other uses.

REASON:

In the interest of the proper planning and development of the area.

- 11 That prior to development commencing full details of all proposed boundary treatment shall be submitted for the written agreement of the planning authority.

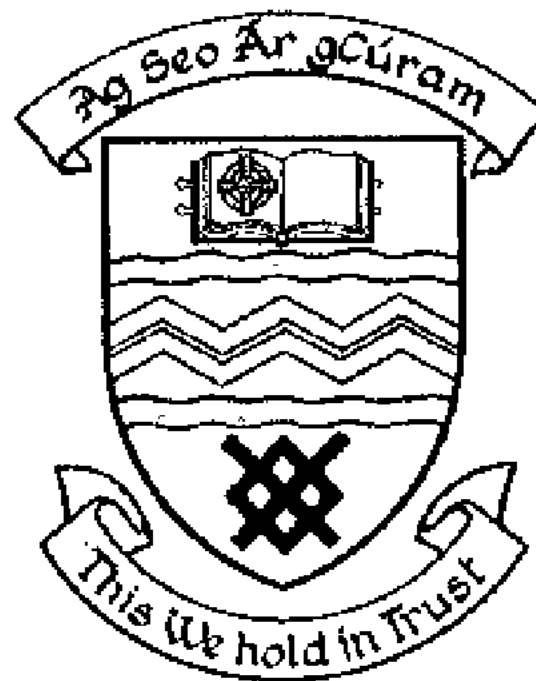
REASON:

In the interest of amenity.

- 12 That the developer shall, as part of the proposed development, construct a 3m wide footpath along the entire

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length of the site frontage at Old Blessington Road, to the junction at Belgard Road. This shall be paved in materials to match the upgraded footpath to the east of the site, and shall be constructed to the satisfaction of the Roads Department South Dublin County Council.

REASON:

In the interest of amenity and public safety.

- 13 Prior to the commencement of site development or construction works the developer shall employ a qualified archaeologist to carry-out an Archaeological Assessment of the proposed development site and to prepare and submit a report for the written agreement of the Planning Authority.

The report shall include proposals for the preservation and/or identification of the line of the monastic enclosure within the development in consultation with the National Monuments Service.

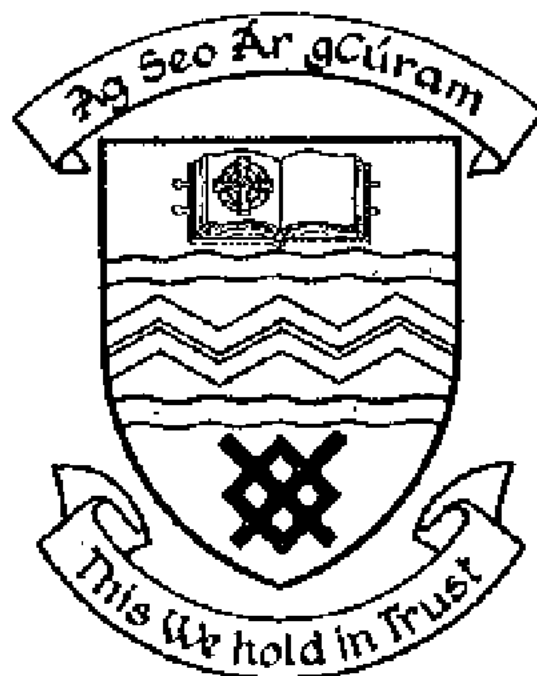
The Archaeological Assessment shall be based on the results of the previous archaeological excavations, documentary research and on the excavation of a number of trial trenches within the proposed development site to the west of the line of the monastic enclosure. Archaeological trial trenching may include trenching along the proposed lines for ground beams and piling (or foundations) associated with the proposed structure(s). Archaeological trial-trenching may also be necessary in the vicinity of services trenches and other proposed sub-surface works associated with the development, to determine the presence/absence of archaeological material within the site. The specific location of the test trenches will be decided by the archaeologist employed, following a detailed examination of the plans, sectional drawings, etc. for the proposed development.

Where archaeological material is shown to be present, a detailed Archaeological Impact Statement shall be included in the report. The potential impact of the proposed development on the archaeology within the site shall be described in detail. The impact statement shall give specific information on the extent, levels and location of all proposed ground-beams and piling (or foundations), services trenches and all other sub-surface works associated with the development. The levels of the archaeology within the site shall also be detailed within the report.

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Further archaeological requirements may be identified pending the results of the Archaeological Assessment.

REASON:

In order to conserve the archaeological heritage of the site and to secure the preservation of any remains which may exist within it.

- 14 That a financial contribution in the sum of #8,900 (eight thousand nine hundred pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 15 That a financial contribution in the sum of money equivalent to the value of #18,700 (eighteen thousand seven hundred pounds) as on 1st January, 1991, updated in accordance with the Wholesale Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

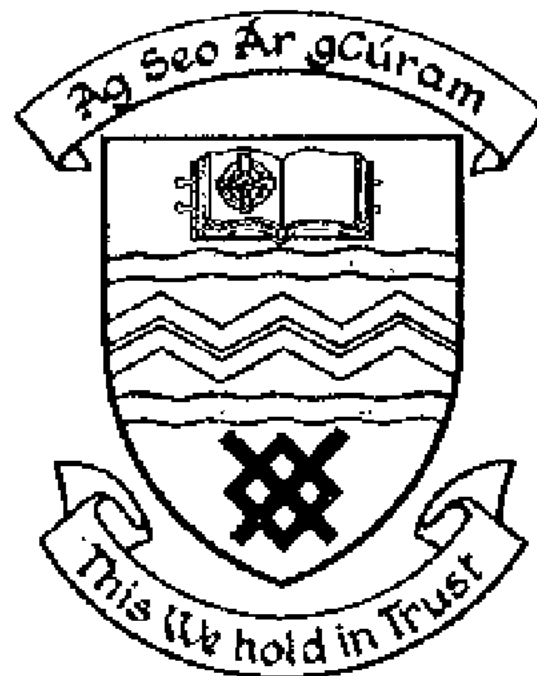
REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 16 That a financial contribution in the sum of #7,500 (seven thousand five hundred pounds) be paid by the proposer to South Dublin County Council towards the cost of the provision and development of Class 1 public open space in

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Sean Walsh Park and which will facilitate the development;
this contribution to be paid before the commencement of
development on site.

REASON:

It is considered reasonable that the developer should
contribute towards the expenditure that was incurred and/or
that is proposed to be incurred by the Council on the
provision and development of amenity lands in the area which
will facilitate the proposed development.

- 17 That details of the Management Agreement for the maintenance
and control of the site be submitted and agreed with the
Planning Authority prior to the commencement of development.

REASON:

In the interest of the proper planning and development of
the area.

- 18 Before the development is commenced, the developer shall
lodge with South Dublin County Council an approved Insurance
Company Bond or cash in the sum of #10,000 (ten thousand
pounds) to secure the provision and satisfactory completion
of services, kerbs, grass margins and footpaths fronting the
site.

REASON:

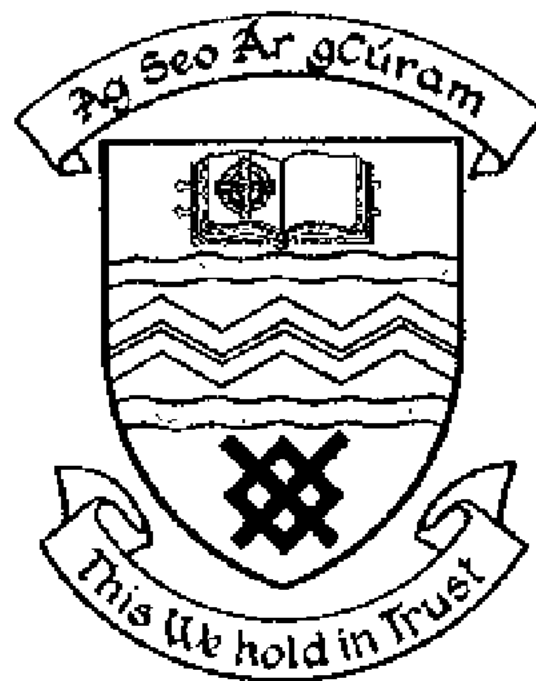
To ensure that a ready sanction may be available to induce
the provision of services and prevent disamenity in the
development.

- (1) All buildings must be designed and constructed in accordance with the Building
Regulations 1991 amended 1994.
- (2) Building Control Regulations require a Commencement Notice. A copy of the
Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority,
where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325:
Code of Practice for use of Masonry Part 1 : Structural use of unreinforced
Masonry. The Owner must also ensure that the construction of all walls is
supervised by a competent person.

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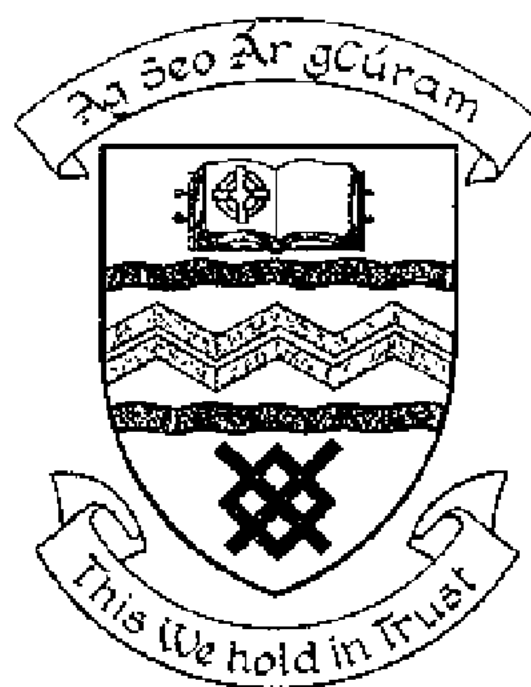
Signed on behalf of South Dublin County Council.

  February 1999
for SENIOR ADMINISTRATIVE OFFICER

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**NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

Decision Order Number 0026	Date of Decision 08/01/99
Register Reference S98A/0198	Date 1st April 1998

Applicant Turlough Hammill and Michael Cosgrave,
Development Residential development of 14 no. 2 bedroom and 1 no. 1 bedroom apartments in a 3 storey block.
Location Site adjoining Tallaght Auto-Parts, Old Blessington Road, Tallaght Town Centre, Tallaght, Dublin 24.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 28/05/98 /10/11/98

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a **DECISION TO GRANT PERMISSION** in respect of the above proposal.

Subject to the conditions (18) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

..... 08/01/99
for SENIOR ADMINISTRATIVE OFFICER

Laurence Pierce Architects,
79 Eccles Street,
Dublin 7

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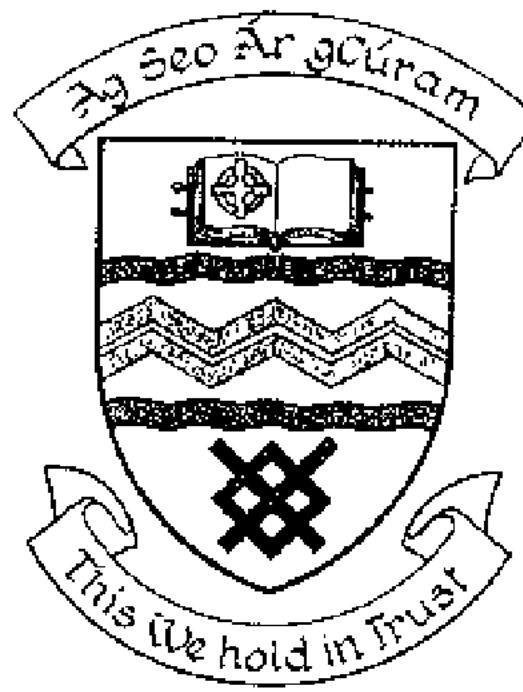
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application and in accordance with additional information received on 10/11/98, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
REASON:
In order to comply with the Sanitary Services Acts, 1878-1964.
- 3 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 4 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
REASON:
In the interest of amenity.
- 5 That no apartment be occupied until all the services have been connected thereto and are operational.
REASON:
In the interest of the proper planning and development of the area.

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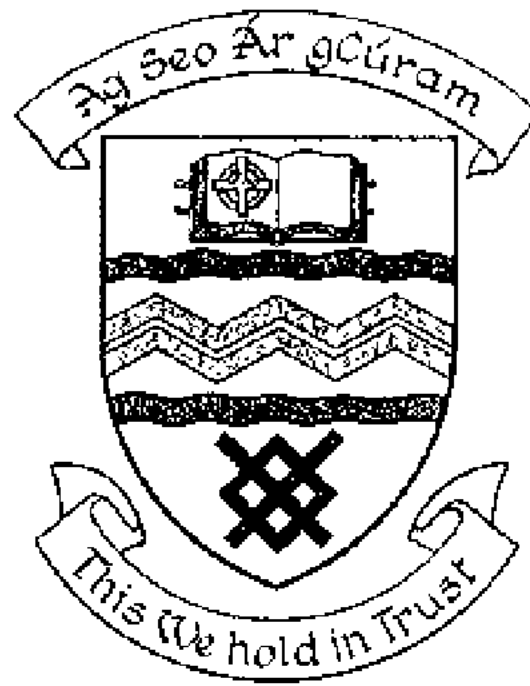
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- 6 That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.
REASON:
In the interest of the proper planning and development of the area.
- 7 That all watermain tapplings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.
REASON:
To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.
- 8 That an acceptable apartment naming and numbering scheme be submitted to an approved by the South Dublin County Council before any constructional work takes place on the proposed development.
REASON:
In the interest of the proper planning and development of the area.
- 9 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.
REASON:
In the interest of reducing air pollution.
- 10 That the car parking areas shown on site layout plan drawing no. 97.22.04P received 10/11/98 shall be clearly marked out on site, and shall be available at all times for car parking

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use and shall not be used for storage or display or other uses.

REASON:

In the interest of the proper planning and development of the area.

- 11 That prior to development commencing full details of all proposed boundary treatment shall be submitted for the written agreement of the planning authority.

REASON:

In the interest of amenity.

- 12 That the developer shall, as part of the proposed development, construct a 3m wide footpath along the entire length of the site frontage at Old Blessington Road, to the junction at Belgard Road. This shall be paved in materials to match the upgraded footpath to the east of the site, and shall be constructed to the satisfaction of the Roads Department South Dublin County Council.

REASON:

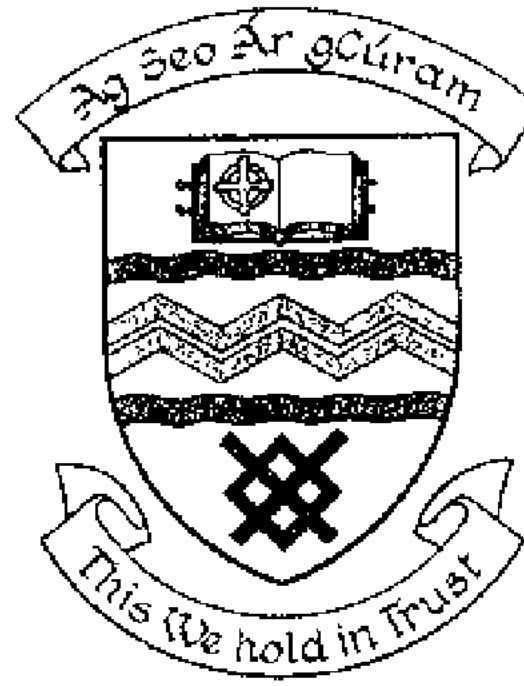
In the interest of amenity and public safety.

- 13 Prior to the commencement of site development or construction works the developer shall employ a qualified archaeologist to carry-out an Archaeological Assessment of the proposed development site and to prepare and submit a report for the written agreement of the Planning Authority.

The report shall include proposals for the preservation and/or identification of the line of the monastic enclosure within the development in consultation with the National Monuments Service.

The Archaeological Assessment shall be based on the results of the previous archaeological excavations, documentary research and on the excavation of a number of trial trenches within the proposed development site to the west of the line

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of the monastic enclosure. Archaeological trial trenching may include trenching along the proposed lines for ground beams and piling (or foundations) associated with the proposed structure(s). Archaeological trial-trenching may also be necessary in the vicinity of services trenches and other proposed sub-surface works associated with the development, to determine the presence/absence of archaeological material within the site. The specific location of the test trenches will be decided by the archaeologist employed, following a detailed examination of the plans, sectional drawings, etc. for the proposed development.

Where archaeological material is shown to be present, a detailed Archaeological Impact Statement shall be included in the report. The potential impact of the proposed development on the archaeology within the site shall be described in detail. The impact statement shall give specific information on the extent, levels and location of all proposed ground-beams and piling (or foundations), services trenches and all other sub-surface works associated with the development. The levels of the archaeology within the site shall also be detailed within the report.

Further archaeological requirements may be identified pending the results of the Archaeological Assessment.

REASON:

In order to conserve the archaeological heritage of the site and to secure the preservation of any remains which may exist within it.

- 14 That a financial contribution in the sum of £8,900 (eight thousand nine hundred pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered

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reasonable that the developer should contribute towards the cost of providing the services.

- 15 That a financial contribution in the sum of money equivalent to the value of £18,700 (eighteen thousand seven hundred pounds) as on 1st January, 1991, updated in accordance with the Wholesale Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

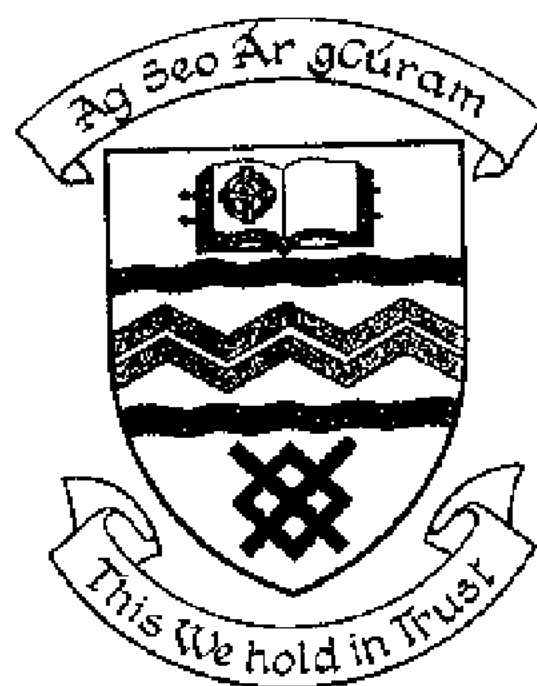
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 16 That a financial contribution in the sum of £7,500 (seven thousand five hundred pounds) be paid by the proposer to South Dublin County Council towards the cost of the provision and development of Class 1 public open space in Sean Walsh Park and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the provision and development of amenity lands in the area which will facilitate the proposed development.

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- 17 That details of the Management Agreement for the maintenance and control of the site be submitted and agreed with the Planning Authority prior to the commencement of development.

REASON:

In the interest of the proper planning and development of the area.

- 18 Before the development is commenced, the developer shall lodge with South Dublin County Council an approved Insurance Company Bond or cash in the sum of £10,000 (ten thousand pounds) to secure the provision and satisfactory completion of services, kerbs, grass margins and footpaths fronting the site.

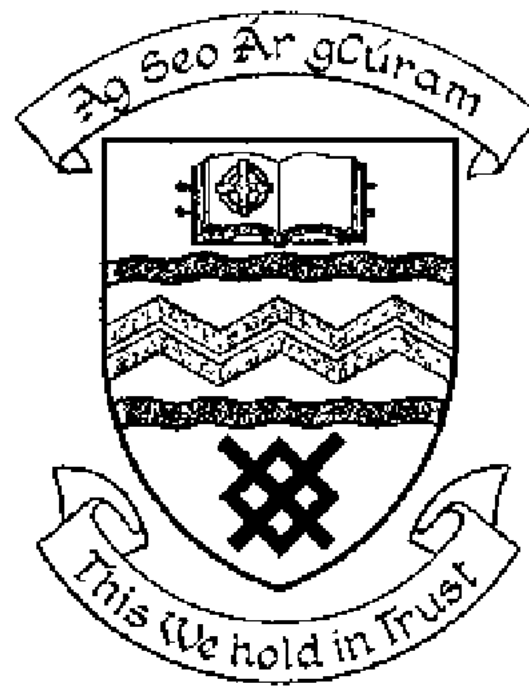
REASON:

To ensure that a ready sanction may be available to induce the provision of services and prevent disamenity in the development.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1030	Date of Decision 28/05/98
Register Reference S98A/0198	Date 1st April 1998

Applicant Turlough Hammill and Michael Cosgrave,
Development Residential development of 14 no. 2 bedroom and 1 no. 1 bedroom apartments in a 3 storey block.

Location Site adjoining Tallaght Auto-Parts, Old Blessington Road, Tallaght Town Centre, Tallaght, Dublin 24.

App. Type Permission

Dear Sir/Madam,

With reference to your planning application, received on 01/04/98 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1993, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

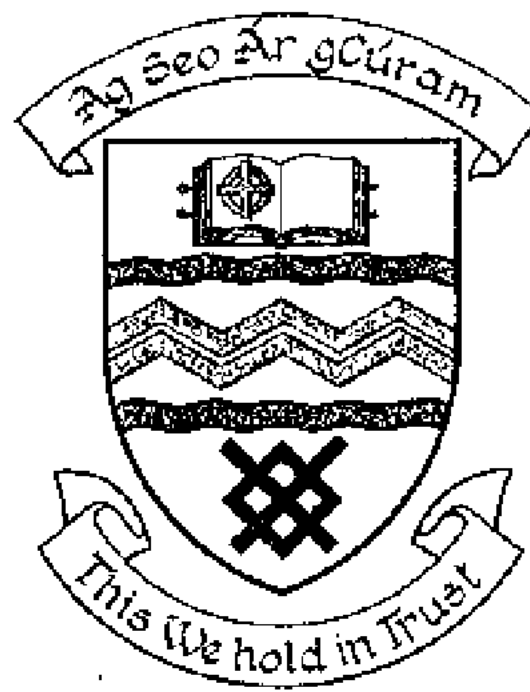
- 1 A revised car parking layout is required to provide off-street car parking to Development Plan standards to serve both the existing and proposed development. In this regard it is noted from a site inspection that the area to the north of the existing building is not to the dimension shown on the submitted layout plan. Adequate operational areas are required to be reserved for the existing commercial uses at the eastern end of the existing premises.
- 2 Revised drawings are required showing the proposed balconies at the eastern end of the building deleted in order to protect the amenity of the neighbouring graveyard.

Laurence Pierce Architects,
79 Eccles Street,
Dublin 7

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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PLANNING
DEPARTMENT
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~~REG-REF. S98A/0198~~

- 3 Written evidence of the permission of the relevant owners to connect into the existing surface water sewer on adjoining land is required to be submitted.
- 4 A detailed consultants report is required with regard to the archaeological status of the site having regard to its location within the area of archaeological potential at Tallaght Village.
- 5 A revised site layout plan to provide for a minimum public footpath of 3m width along the entire frontage of the site to the entrance is required. The resulting footpath to be paved along the entire site frontage in materials to match the upgraded footpath to the east of the site.
- 6 A detailed landscape plan for the site is required to include the areas to the front of the building. All boundary treatment should be fully detailed on drawings.

Signed on behalf of South Dublin County Council


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for Senior Administrative Officer

28/05/98