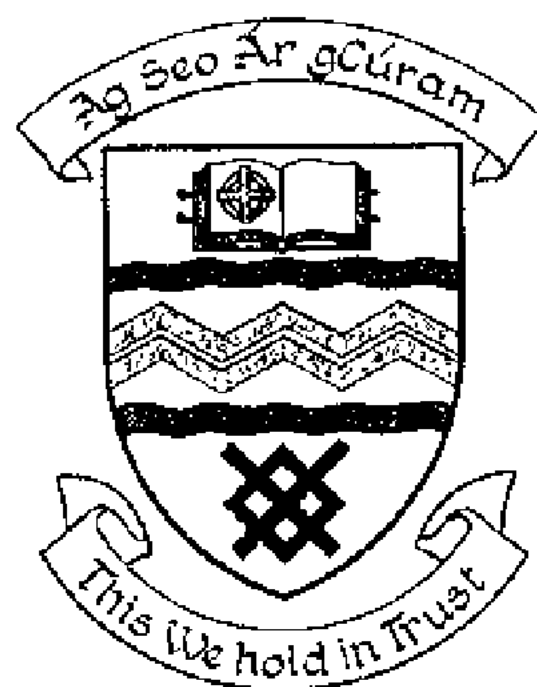


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No.  S98A/0199	
1. Location	The Embankment Public House, Blessington Road, Tallaght, Dublin 24.		
2. Development	Demolition of existing buildings and replacement with a new single storey public house, lounge bar and restaurant of 1,000 sq.m. together with a 2 storey leisure centre, creche and swimming pool of 800 sq.m., a 2 storey with mansard roof 54 bed hotel with conference and banqueting facilities and ancilliary areas of 2,000 sq.m., a two storey with mansard roof aparthotel in three separate block of 1,500 sq.m. each containing 36 units, associated service areas, car parking and site development works including the closure of the existing entrance and the replacement with a new entrance off the Saggart Road, all within the 6 acre site contained and bounded by the N81 Blessington Road and the N82 Saggart Road.		
3. Date of Application	01/04/98	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 29/05/1998 2. 19/10/19	1. 21/08/1998 2. 25/03/19
4. Submitted by	Name: T. G. Neasy and Associates, Address: 5 Arran Square, Arran Quay,		
5. Applicant	Name: Mardivale Limited, Address: Anglesea Road, Ballsbridge, Dublin 4.		
6. Decision	O.C.M. No. 1764  Date 18/08/1999	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 2148  Date 30/09/1999	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement	Compensation	Purchase Notice	

12. Revocation or Amendment		
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14. .... Registrar	..... Date	..... Receipt No.

**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**



Bosca 4122,  
Lár an Bhaile, Tamhlacht,  
Baile Átha Cliath 24.

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**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

Decision Order Number 2117	Date of Decision 19/10/98
Register Reference S98A/0199	Date 1st April 1998

**Applicant** Mardivale Limited,  
**App. Type** Permission  
**Development** Demolition of existing buildings and replacement with a new single storey public house, lounge bar and restaurant of 1,000 sq.m. together with a 2 storey leisure centre, creche and swimming pool of 800 sq.m., a 2 storey with mansard roof 54 bed hotel with conference and banqueting facilities and ancilliary areas of 2,000 sq.m., a two storey with mansard roof aparthotel in three separate block of 1,500 sq.m. each containing 36 units, associated service areas, car parking and site development works including the closure of the existing entrance and the replacement with a new entrance off the Saggart Road, all within the 6 acre site contained and bounded by the N81 Blessington Road and the N82 Saggart Road.

**Location** The Embankment Public House, Blessington Road, Tallaght, Dublin 24.

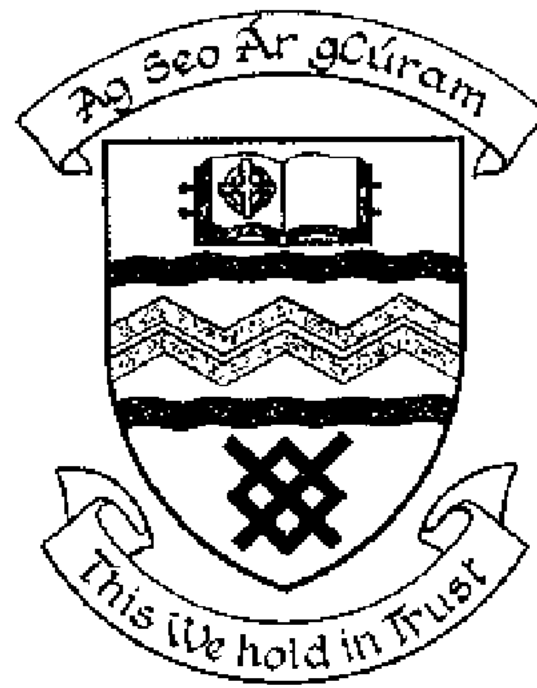
Dear Sir / Madam,

With reference to your planning application, additional information received on 21st August 1998 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning and Development) Acts 1963 - 1993, the following clarification of Additional Information must be submitted in quadruplicate:

1 The applicant is requested to submit the following:-

T. G. Neasy and Associates,  
5 Arran Square,  
Arran Quay,  
Dublin 7.

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- a) design calculations for foul drainage system, taking into account the discharge from the filter backwash process of the swimming pool and the storage facilities;
- b) written evidence of permission to connect into a private foul sewer (i.e. not yet taken-in-charge by South Dublin County Council) and calculations to demonstrate that there is sufficient capacity for the proposed and existing development in the pipeline.
- c) details of attenuation facilities for surface water drainage together with design calculations for proposed run-off. The applicant should note that surface water run-off from the site will be limited to its present levels.

2 The applicant is requested to submit the following information in relation to water supply:-

- a) detailed requirements including peak and average flows - taking into account filter backwash requirements of swimming pool and other details as applicable;
- b) revised proposals to increase the size of the ringmain to 150mm diameter;
- c) the applicant should note that future water supply arrangements in the area have not been finalised and that there is no plan to upgrade existing 100mm diameter main in the near future. In the light of this, the applicant should submit detailed analyses of the existing system to show how the water requirements of the development can be met.

3 The applicant is requested to submit revised proposals for the N82 frontage of the site as follows:-

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- a) a 4.75m wide strip between the boundary wall/  
railings and road kerbing;
  - b) a 1.5m wide footpath;
  - c) a 3.25m wide margin with no planting;
  - d) details relating to road drainage (gullies, manholes  
and outfall).
  - e) public lighting.
- 4 The site is affected along its N81 frontage by a road reservation line to a maximum depth of 4.0m. This reservation line extends from the disused laneway eastwards for a distance of 180m. The applicant is requested to submit revised proposals to amend the proposed new boundary to reflect this requirement.
- 5 Plans for the extension of the Tallaght by-pass have *firmed up* ~~been confirmed~~ to a certain extent since this application was lodged. The proposed junction realignment at the N81/N82 may no longer be required. The applicant is requested to submit a revised site layout plan to reincorporate land at the east end of the site and to continue the proposed boundary treatment. The applicant should note that depending upon whether the by-pass extension proposals are confirmed or not, the ceded portion at the east end of the site may or may not be required.
- 6 The applicant is requested to submit elevation and section drawings of the retaining wall which will have to be constructed along the N82 boundary in the north-western corner of the site given revised proposals to extend car-parking in this area.
- 7 The applicant is requested to submit a section drawing of the proposed leisure centre.

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- 8 The applicant is requested to submit proposals to screen the hotel service yard, leisure centre plant room and any outdoor storage for the pub which may be required. The applicant is requested to submit proposals for air vents, extractors, chimneys, air conditioning systems on the northern elevation of buildings which will be visible from the N81.
- 9 The applicant is requested to submit proposals for the retention of mature hedgerow roadside boundary trees where possible.

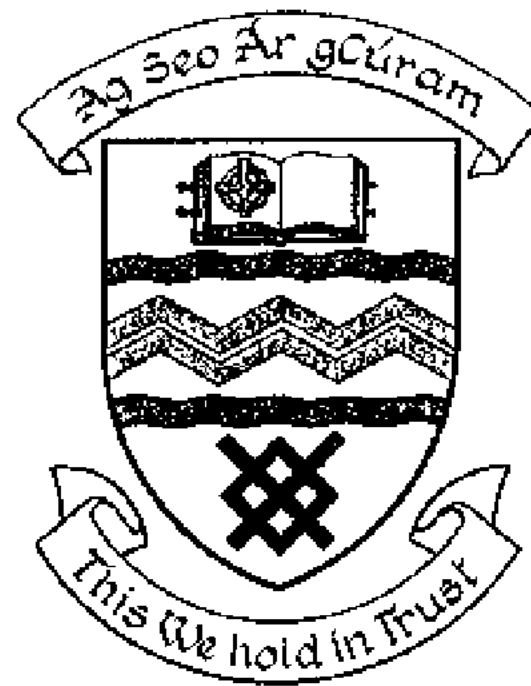
Please mark your reply **"CLARIFICATION OF ADDITIONAL INFORMATION"** and quote the Planning Reg Ref. No. given above.

Yours faithfully

  
.....  
for SENIOR ADMINISTRATIVE OFFICER

19/10/98

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1037	Date of Decision 29/05/98
Register Reference S98A/0199	Date 1st April 1998

**Applicant** Mardivale Limited,  
**Development** Demolition of existing buildings and replacement with a new single storey public house, lounge bar and restaurant of 1,000 sq.m. together with a 2 storey leisure centre, creche and swimming pool of 800 sq.m., a 2 storey with mansard roof 54 bed hotel with conference and banqueting facilities and ancilliary areas of 2,000 sq.m., a two storey with mansard roof aparthotel in three separate block of 1,500 sq.m. each containing 36 units, associated service areas, car parking and site development works including the closure of the existing entrance and the replacement with a new entrance off the Saggart Road, all within the 6 acre site contained and bounded by the N81 Blessington Road and the N82 Saggart Road.

**Location** The Embankment Public House, Blessington Road, Tallaght, Dublin 24.

**App. Type** Permission

Dear Sir/Madam,

With reference to your planning application, received on 01/04/98 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1993, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

- 1 Full details of proposed foul and surface water drainage including discharge to the public sewer, and water supply arrangements, including pipe sizes, gradients, cover and invert levels. The submission should include provision for full and complete separation of foul and surface water systems, the piping of all redundant streams and ditches,

T. G. Neasy and Associates,  
5 Arran Square,  
Arran Quay,  
Dublin 7.

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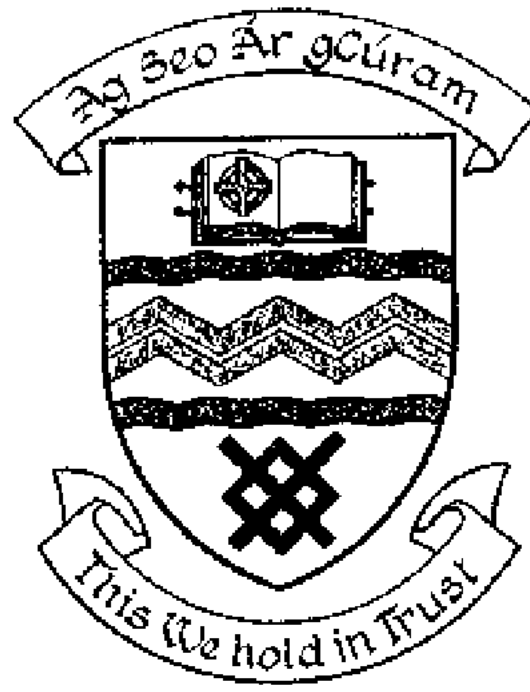
REG REF. S98A/0199

petrol/oil/diesel interceptors to car park runoff, and proposals for retaining runoff to present agricultural levels.

- 2 Details regarding proposed mechanical ventilation systems, seating capacity for the restaurant, bar and lounge areas, and exact number of WC's, wash basins and urinals for both staff and patrons.
- 3 Full details of revised vehicular access/egress arrangements in accordance with the requirements of the Roads Department South Dublin County Council. This should include:
  - (a) a long section of the internal road,
  - (b) deletion of the proposed entrance from the old disused laneway which is seriously substandard,
  - (c) provision in the design and location of the access for vision splays of 130 metres from a 3 metre setback, and for the gradient of the last 15 metres of the access road to be not more than 3%,
  - (d) provision of a public footpath from the junction of the N81/N82 at least as far as the access, kerbing of the existing road (hotel side), drainage and public lighting, and grass margin,
  - (e) all buildings with residential content to be set back a minimum of 15 metres from the National Secondary Road (N81),
  - (f) car parking provision to development plan standards, (i.e. 330 spaces)
  - (g) suitable provision should be made for the possibility that the eastern tip of the site may be affected by a road reservation for treatment of the junction.
- 4 Full details of existing and proposed boundary treatment to N81 and N82 road frontages to the site.



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- 5 Full details, including colour and texture, of all proposed external materials and finishes.
- 6 Suitable site section drawings to a scale of 1:250 to show overall building heights relative to adjacent ground levels along the N81 Blessington Road frontage to the site.

Signed on behalf of South Dublin County Council

.....  
for Senior Administrative Officer

29/05/98

T. G. Neasy and Associates,  
5 Arran Square,  
Arran Quay,  
Dublin 7.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 2148	Date of Final Grant 30/09/1999
Decision Order Number 1764	Date of Decision 18/08/1999
Register Reference S98A/0199	Date 25/03/99

Applicant Mardivale Limited,

Development Demolition of existing buildings and replacement with a new single storey public house, lounge bar and restaurant of 1,000 sq.m. together with a 2 storey leisure centre, creche and swimming pool of 800 sq.m., a 2 storey with mansard roof 54 bed hotel with conference and banqueting facilities and ancilliary areas of 2,000 sq.m., a two storey with mansard roof aparthotel in three separate block of 1,500 sq.m. each containing 36 units, associated service areas, car parking and site development works including the closure of the existing entrance and the replacement with a new entrance off the Saggart Road, all within the 6 acre site contained and bounded by the N81 Blessington Road and the N82 Saggart Road.

Location The Embankment Public House, Blessington Road, Tallaght,  
Dublin 24.

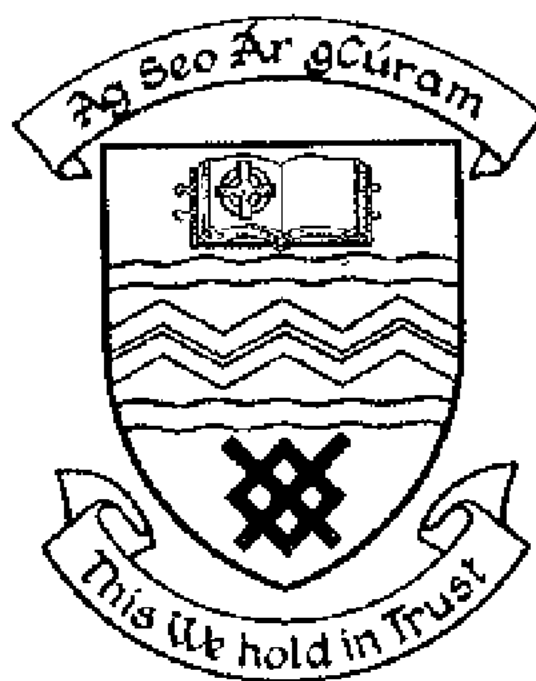
Floor Area 8300.00 Sq Metres  
Time extension(s) up to and including 19/08/1999  
Additional Information Requested/Received 29/05/1998 /21/08/1998

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A Permission has been granted for the development described above,  
subject to the following (28) Conditions.

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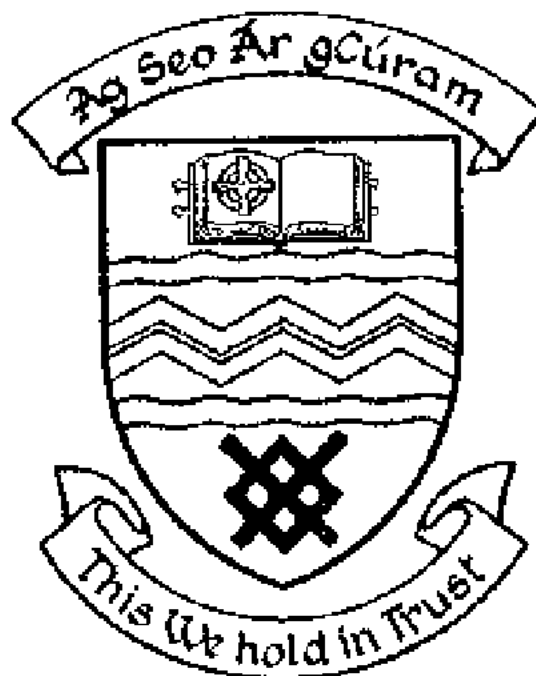
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**Conditions and Reasons**

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received on 21/08/98, Clarification of Additional Information received on 25/03/99 and Unsolicited Additional Information received on 21/06/99, 26/07/99 and 11/08/99, save as may be required by the other conditions attached hereto.  
REASON:  
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.  
REASON:  
In the interest of public health.
- 3 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council.  
REASON:  
In order to comply with the Sanitary Services Acts, 1878 - 1964.
- 4 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.  
REASON:  
In the interest of the proper planning and development of the area.
- 5 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.  
REASON:  
To protect the amenities of the area.
- 6 That plans and details indicating existing trees and hedges on the site to be retained shall be submitted to the Planning Authority for approval before work commences. Trees and hedges to be retained shall be protected during construction by the erection of temporary fencing.  
REASON:  
In the interest of visual amenity.

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- 7 That details and plans of proposed landscaping and tree planting shall be submitted to the Planning Authority before development commences.

REASON:

In the interest of visual amenity.

- 8 That details and samples of all external facing and roofing materials are submitted to the Planning Authority for agreement before development commences.

REASON:

In the interest of visual amenity.

- 9 That the car parking areas indicated on the approved plans shall be surfaced, marked out and available at all times for car parking use.

REASON:

In the interest of road safety.

- 10 That details of proposals to screen the hotel service yard, leisure centre plant room and any outdoor storage for the public house shall be submitted to the Planning Authority for agreement before development commences.

REASON:

In the interest of visual amenity.

- 11 That details of proposals for air vents, extractors, chimneys and air conditioning systems on the elevations of the buildings which will be visible from adjacent roads shall be submitted to the Planning Authority for agreement prior to the commencement of development.

REASON:

In the interest of visual amenity.

- 12 That plans indicating a longitudinal section along the full N82 site frontage showing road gully spacings not greater than 25 metres and manhole spacings not greater than 75 metres shall be submitted to the Planning Authority for agreement before development commences.

REASON:

In the interest of the proper planning and development of the area.

- 13 That evidence of certification of the retaining wall by a competent structural engineer shall be submitted to the Planning Authority before the development hereby permitted is first brought in to use/occupied.

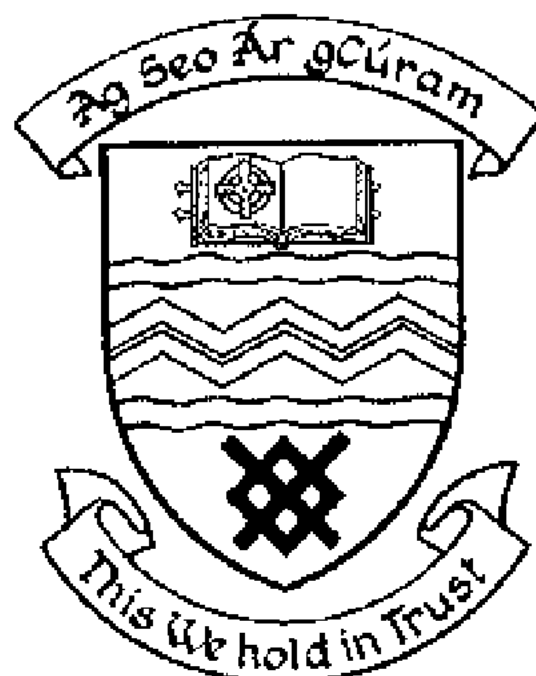
REASON:

In the interest of the proper planning and development of the area.

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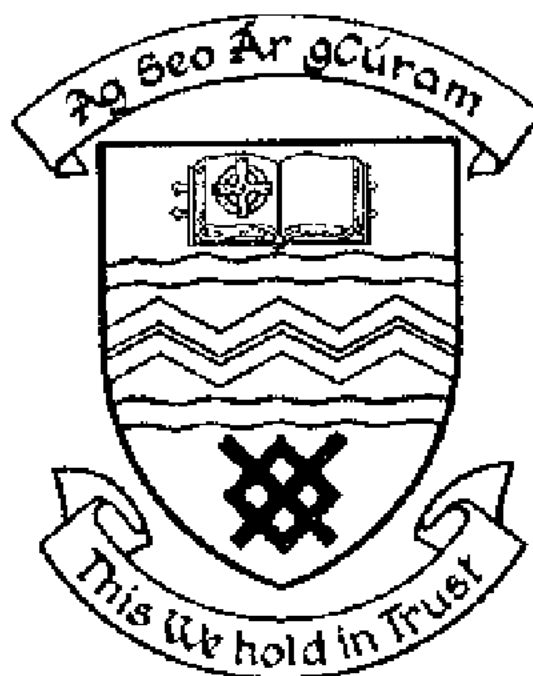
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- 14 That the applicant shall ensure a complete and full separation of foul and surface water drainage systems.  
REASON:  
In the interest of public health.
- 15 That all foul drainage pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.  
REASON:  
In the interests of the proper planning and development of the area.
- 16 That the applicant shall limit the flow into the proposed surface water stream to a flow of 160 litres per second.  
REASON:  
In the interest of proper planning and development.
- 17 That attenuation tanks shall have a minimum storage capacity of 205 cubic metres.  
REASON:  
In the interest of the proper planning and development of the area.
- 18 That prior to the commencement of development the applicant shall submit detailed drawings of the proposed surface water control structure and the proposed storage tanks. The applicant shall make provision for the regular maintenance and cleaning of the tanks.  
REASON:  
In the interest of the proper planning and development of the area.
- 19 That prior to the commencement of development the applicant shall submit details of the proposed surface water outfall into the stream.  
REASON:  
In the interest of the proper planning and development.
- 20 That the applicant is required to achieve a minimum cover of 1 metre to the rising main. In the vicinity of the surface water culvert on the Blessington Road the applicant shall come to an agreement with the relevant landowners for site access.  
REASON:  
In the interest of the proper planning and development of the area.

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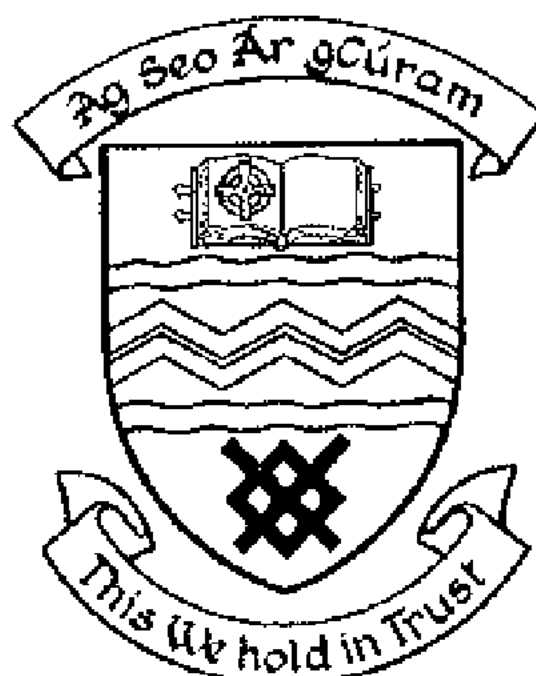
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- 21 That in respect of water supply a 6 inch diameter H.P.P.E. (High Performance Polyethylene) pipe in accordance with the 1989 Building Regulations shall be used.  
REASON:  
In the interest of the proper planning and development of the area.
- 22 Prior to the commencement the applicant shall submit for the approval of the Planning Authority a revised watermain layout drawing. This shall indicate proposed watermain sizes, valve, metre and hydrant layout and proposed points of connection to existing watermains. The layout shall comply with Building Regulations.  
REASON:  
In the interest of the proper planning and development of the area.
- 23 That the applicant is required to install a booster pump at De Selby. The location of booster pump is to be agreed with the Planning Authority prior to commencement of development.  
REASON:  
In the interest of the proper planning and development of the area.
- 24 That the applicant shall provide for fire storage of water and 24 hour storage of water.  
REASON:  
In the interest of the proper planning and development of the area.
- 25 That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.  
REASON:  
To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.
- 26 That a financial contribution in the sum of £70,035 (seventy thousand and thirty five pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.  
REASON:

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The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 27 That a financial contribution in the sum of £182,175 (one hundred and eighty two thousand one hundred and seventy five pounds) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 28 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, kerbs, grass margin and footpath fronting the site has been given by lodgement with the Council of an approved Insurance Company Bond in the sum of £56,000 (fifty six thousand pounds) or lodgement with the Council of a cash sum of £56,000 (fifty six thousand pounds).

REASON:

To ensure that a ready sanction may be available to induce the provision of services and prevent disamenity in the development.

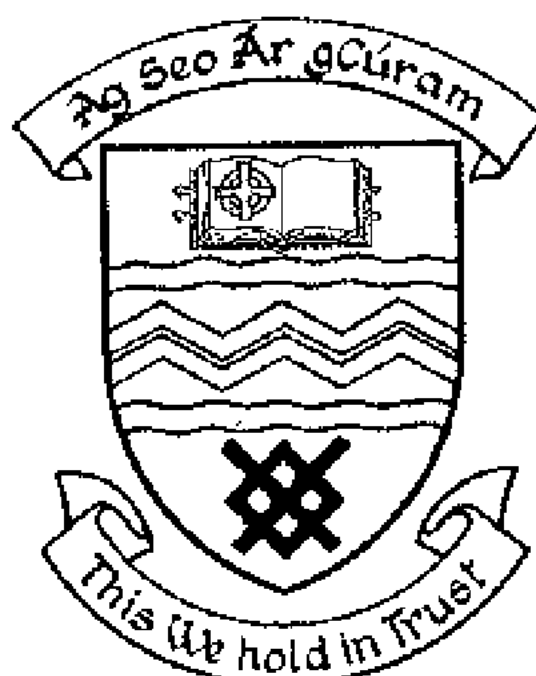
NOTE: Water cannot be guaranteed at all times due to lack of adequate volumes of treated water available to consumers in the Greater Dublin Region.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.



REG REF. S98A/0199

SOUTH DUBLIN COUNTY COUNCIL  
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

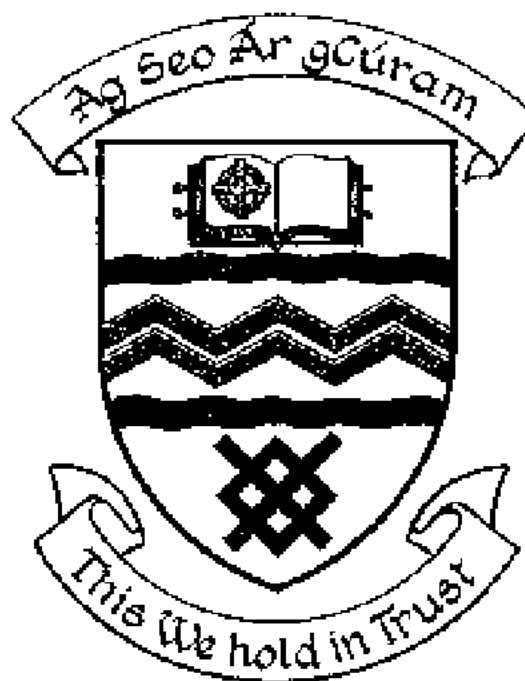
Signed on behalf of South Dublin County Council.

*James Cowley*  
.....01/10/99  
for SENIOR ADMINISTRATIVE OFFICER

**SOUTH DUBLIN COUNTY COUNCIL**  
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**NOTIFICATION OF DECISION TO GRANT PERMISSION**  
**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

Decision Order Number 1764	Date of Decision 18/08/1999
Register Reference S98A/0199	Date: 01/04/98

**Applicant** Mardivale Limited,

**Development** Demolition of existing buildings and replacement with a new single storey public house, lounge bar and restaurant of 1,000 sq.m. together with a 2 storey leisure centre, creche and swimming pool of 800 sq.m., a 2 storey with mansard roof 54 bed hotel with conference and banqueting facilities and ancilliary areas of 2,000 sq.m., a two storey with mansard roof aparthotel in three separate block of 1,500 sq.m. each containing 36 units, associated service areas, car parking and site development works including the closure of the existing entrance and the replacement with a new entrance off the Saggart Road, all within the 6 acre site contained and bounded by the N81 Blessington Road and the N82 Saggart Road.

**Location** The Embankment Public House, Blessington Road, Tallaght, Dublin 24.

**Floor Area** Sq Metres

**Time extension(s) up to and including** 19/08/1999

**Additional Information Requested/Received** 29/05/1998 /21/08/1998

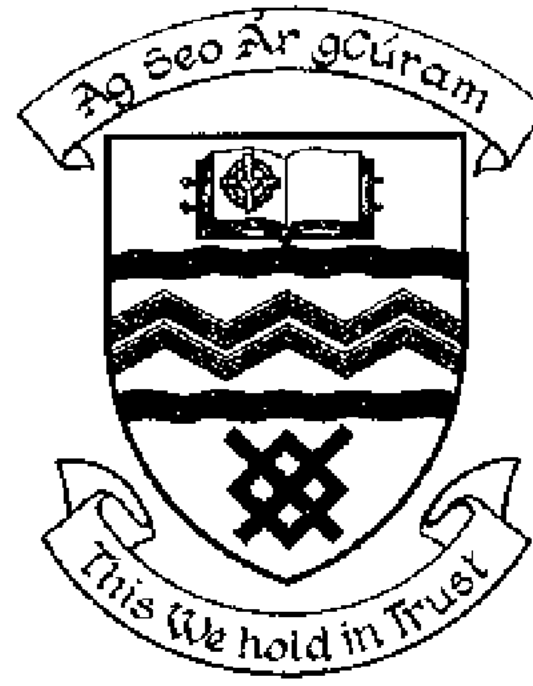
In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a **DECISION TO GRANT PERMISSION** in respect of the above proposal.

T. G. Neasy and Associates,  
5 Arran Square,  
Arran Quay,  
Dublin 7.

**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

Bosca 4122,  
Lár an Bhaile, Tamhlacht,  
Baile Átha Cliath 24.

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REG REF. S98A/0199

Subject to the conditions ( 28 ) on the attached Numbered Pages.  
Signed on behalf of the South Dublin County Council.

*S. M. Gormack* 19/08/99  
.....  
for SENIOR ADMINISTRATIVE OFFICER

**Conditions and Reasons**

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received on 21/08/98, Clarification of Additional Information received on 25/03/99 and Unsolicited Additional Information received on 21/06/99, 26/07/99 and 11/08/99, save as may be required by the other conditions attached hereto.  
REASON:  
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.  
REASON:  
In the interest of public health.
- 3 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council.  
REASON:

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In order to comply with the Sanitary Services Acts, 1878 -  
1964.

- 4 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.

REASON:

In the interest of the proper planning and development of the area.

- 5 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 6 That plans and details indicating existing trees and hedges on the site to be retained shall be submitted to the Planning Authority for approval before work commences. Trees and hedges to be retained shall be protected during construction by the erection of temporary fencing.

REASON:

In the interest of visual amenity.

- 7 That details and plans of proposed landscaping and tree planting shall be submitted to the Planning Authority before development commences.

REASON:

In the interest of visual amenity.

- 8 That details and samples of all external facing and roofing materials are submitted to the Planning Authority for agreement before development commences.

REASON:

In the interest of visual amenity.

- 9 That the car parking areas indicated on the approved plans shall be surfaced, marked out and available at all times for car parking use.

REASON:

In the interest of road safety.

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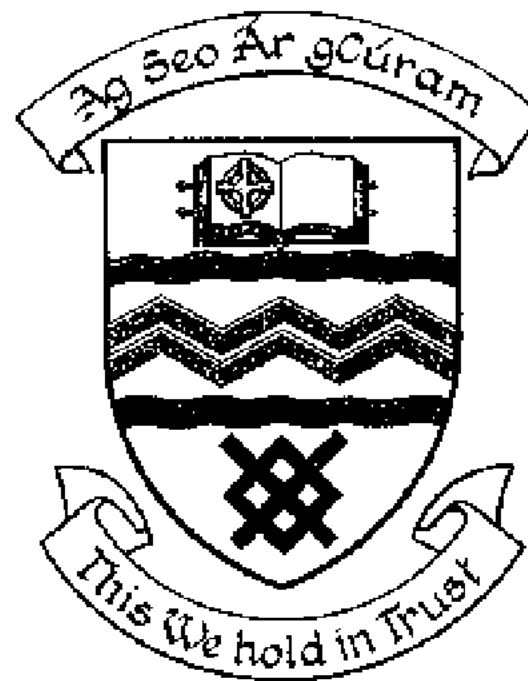
REG REF. S98A/0199

- 10 That details of proposals to screen the hotel service yard, leisure centre plant room and any outdoor storage for the public house shall be submitted to the Planning Authority for agreement before development commences.  
REASON:  
In the interest of visual amenity.
- 11 That details of proposals for air vents, extractors, chimneys and air conditioning systems on the elevations of the buildings which will be visible from adjacent roads shall be submitted to the Planning Authority for agreement prior to the commencement of development.  
REASON:  
In the interest of visual amenity.
- 12 That plans indicating a longitudinal section along the full N82 site frontage showing road gully spacings not greater than 25 metres and manhole spacings not greater than 75 metres shall be submitted to the Planning Authority for agreement before development commences.  
REASON:  
In the interest of the proper planning and development of the area.
- 13 That evidence of certification of the retaining wall by a competent structural engineer shall be submitted to the Planning Authority before the development hereby permitted is first brought in to use/occupied.  
REASON:  
In the interest of the proper planning and development of the area.
- 14 That the applicant shall ensure a complete and full separation of foul and surface water drainage systems.  
REASON:  
In the interest of public health.
- 15 That all foul drainage pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.  
REASON:

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In the interests of the proper planning and development of the area.

- 16 That the applicant shall limit the flow into the proposed surface water stream to a flow of 160 litres per second.

REASON:

In the interest of proper planning and development.

- 17 That attenuation tanks shall have a minimum storage capacity of 205 cubic metres.

REASON:

In the interest of the proper planning and development of the area.

- 18 That prior to the commencement of development the applicant shall submit detailed drawings of the proposed surface water control structure and the proposed storage tanks. The applicant shall make provision for the regular maintenance and cleaning of the tanks.

REASON:

In the interest of the proper planning and development of the area.

- 19 That prior to the commencement of development the applicant shall submit details of the proposed surface water outfall into the stream.

REASON:

In the interest of the proper planning and development.

- 20 That the applicant is required to achieve a minimum cover of 1 metre to the rising main. In the vicinity of the surface water culvert on the Blessington Road the applicant shall come to an agreement with the relevant landowners for site access.

REASON:

In the interest of the proper planning and development of the area.

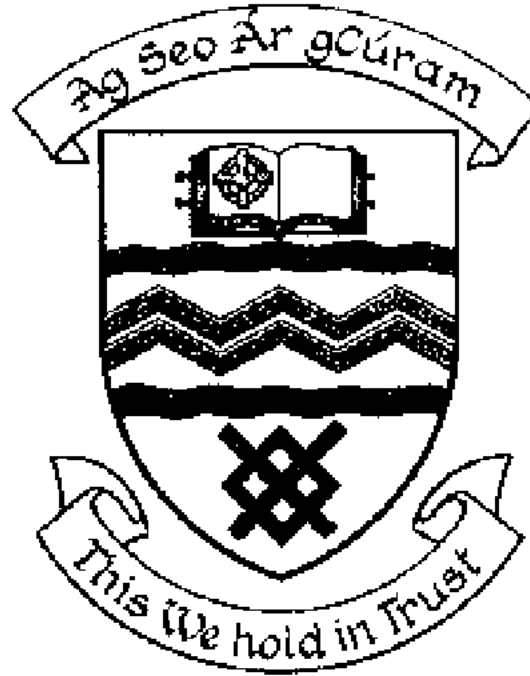
- 21 That in respect of water supply a 6 inch diameter H.P.P.E. (High Performance Polyethylene) pipe in accordance with the 1989 Building Regulations shall be used.

REASON:

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In the interest of the proper planning and development of the area.

- 22 Prior to the commencement the applicant shall submit for the approval of the Planning Authority a revised watermain layout drawing. This shall indicate proposed watermain sizes, valve, metre and hydrant layout and proposed points of connection to existing watermains. The layout shall comply with Building Regulations.

REASON:

In the interest of the proper planning and development of the area.

- 23 That the applicant is required to install a booster pump at De Selby. The location of booster pump is to be agreed with the Planning Authority prior to commencement of development.

REASON:

In the interest of the proper planning and development of the area.

- 24 That the applicant shall provide for fire storage of water and 24 hour storage of water.

REASON:

In the interest of the proper planning and development of the area.

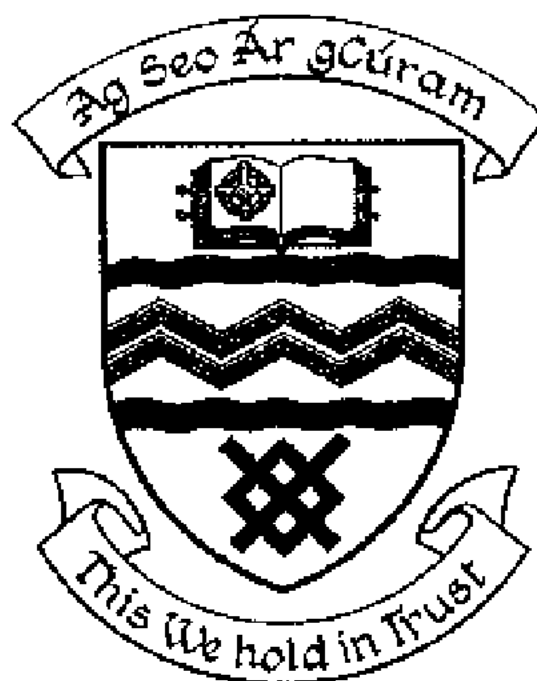
- 25 That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

- 26 That a financial contribution in the sum of £70,035 (seventy thousand and thirty five pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be

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REG. REF. S98A/0199

paid before the commencement of development on the site.

**REASON:**

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 27 That a financial contribution in the sum of £182,175 (one hundred and eighty two thousand one hundred and seventy five pounds) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 28 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, kerbs, grass margin and footpath fronting the site has been given by lodgement with the Council of an approved Insurance Company Bond in the sum of £56,000 (fifty six thousand pounds) or lodgement with the Council of a cash sum of £56,000 (fifty six thousand pounds).

**REASON:**

To ensure that a ready sanction may be available to induce the provision of services and prevent disamenity in the development.

**NOTE:** Water cannot be guaranteed at all times due to lack of adequate volumes of treated water available to consumers in the Greater Dublin Region.



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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1653	Date of Decision 05/08/1999
Register Reference S98A/0199	Date 01/04/98

Applicant	Mardivale Limited,
App. Type	Permission
Development	Demolition of existing buildings and replacement with a new single storey public house, lounge bar and restaurant of 1,000 sq.m. together with a 2 storey leisure centre, creche and swimming pool of 800 sq.m., a 2 storey with mansard roof 54 bed hotel with conference and banqueting facilities and ancilliary areas of 2,000 sq.m., a two storey with mansard roof aparthotel in three separate block of 1,500 sq.m. each containing 36 units, associated service areas, car parking and site development works including the closure of the existing entrance and the replacement with a new entrance off the Saggart Road, all within the 6 acre site contained and bounded by the N81 Blessington Road and the N82 Saggart Road.
Location	The Embankment Public House, Blessington Road, Tallaght, Dublin 24.

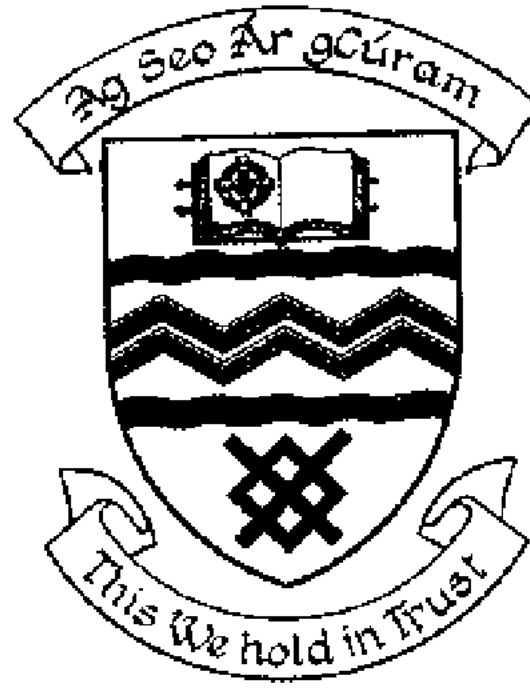
Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 19/08/1999

Yours faithfully

..... 05/08/99  
for SENIOR ADMINISTRATIVE OFFICER

**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**



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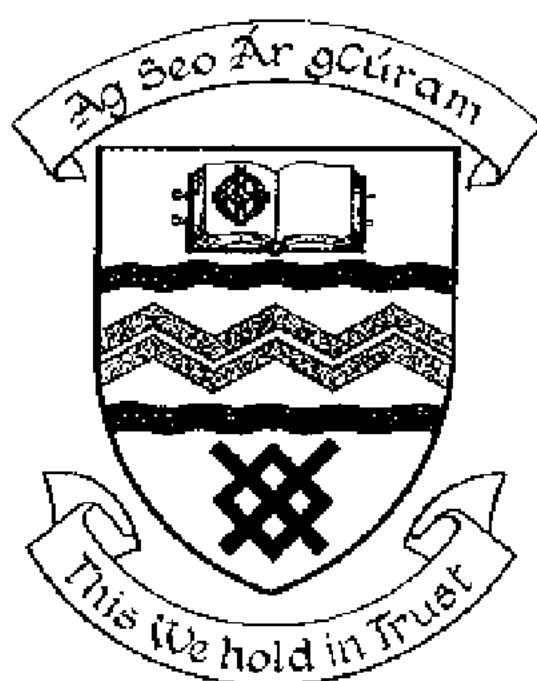
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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1432	Date of Decision 08/07/1999
Register Reference S98A/0199	Date 01/04/98

**Applicant** Mardivale Limited,  
**App. Type** Permission  
**Development** Demolition of existing buildings and replacement with a new single storey public house, lounge bar and restaurant of 1,000 sq.m. together with a 2 storey leisure centre, creche and swimming pool of 800 sq.m., a 2 storey with mansard roof 54 bed hotel with conference and banqueting facilities and ancilliary areas of 2,000 sq.m., a two storey with mansard roof aparthotel in three separate block of 1,500 sq.m. each containing 36 units, associated service areas, car parking and site development works including the closure of the existing entrance and the replacement with a new entrance off the Saggart Road, all within the 6 acre site contained and bounded by the N81 Blessington Road and the N82 Saggart Road.

**Location** The Embankment Public House, Blessington Road, Tallaght, Dublin 24.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 05/08/1999

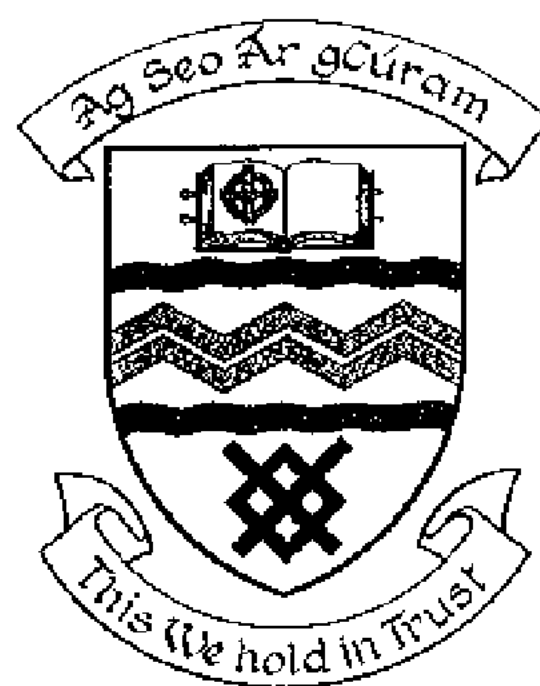
Yours faithfully

MI  
..... 08/07/99  
for SENIOR ADMINISTRATIVE OFFICER

**SOUTH DUBLIN COUNTY COUNCIL**  
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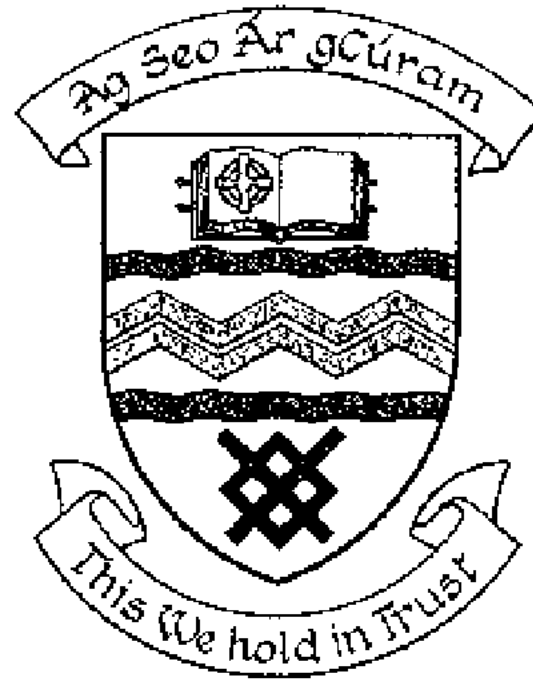
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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1210	Date of Decision 10/06/1999
Register Reference S98A/0199	Date 01/04/98

**Applicant** Mardivale Limited,  
**App. Type** Permission  
**Development** Demolition of existing buildings and replacement with a new single storey public house, lounge bar and restaurant of 1,000 sq.m. together with a 2 storey leisure centre, creche and swimming pool of 800 sq.m., a 2 storey with mansard roof 54 bed hotel with conference and banqueting facilities and ancilliary areas of 2,000 sq.m., a two storey with mansard roof aparthotel in three separate block of 1,500 sq.m. each containing 36 units, associated service areas, car parking and site development works including the closure of the existing entrance and the replacement with a new entrance off the Saggart Road, all within the 6 acre site contained and bounded by the N81 Blessington Road and the N82 Saggart Road.

**Location** The Embankment Public House, Blessington Road, Tallaght, Dublin 24.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 08/07/1999

Yours faithfully

..... 10/06/99  
for SENIOR ADMINISTRATIVE OFFICER

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1168	Date of Decision 03/06/1999 <i>LA</i>
Register Reference S98A/0199	Date 1st April 1998

Applicant Mardivale Limited,  
App. Type Permission  
Development Demolition of existing buildings and replacement with a new single storey public house, lounge bar and restaurant of 1,000 sq.m. together with a 2 storey leisure centre, creche and swimming pool of 800 sq.m., a 2 storey with mansard roof 54 bed hotel with conference and banqueting facilities and ancilliary areas of 2,000 sq.m., a two storey with mansard roof aparthotel in three separate block of 1,500 sq.m. each containing 36 units, associated service areas, car parking and site development works including the closure of the existing entrance and the replacement with a new entrance off the Saggart Road, all within the 6 acre site contained and bounded by the N81 Blessington Road and the N82 Saggart Road.

Location The Embankment Public House, Blessington Road, Tallaght,  
Dublin 24.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 02/07/1999

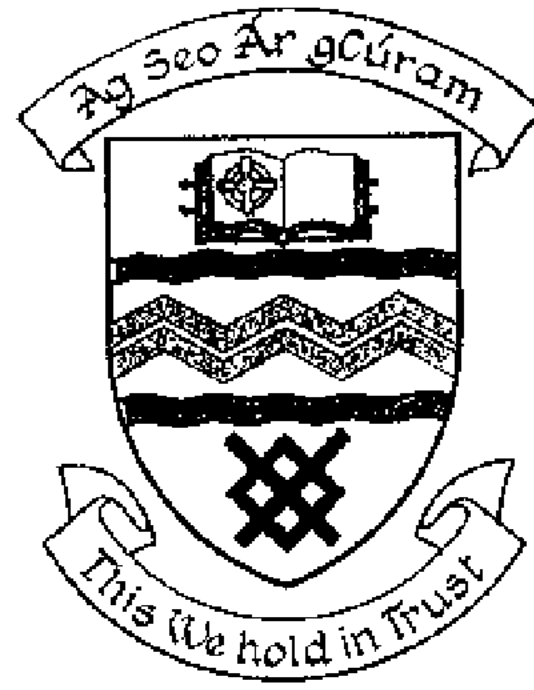
Yours faithfully

*LA*  
..... 04/06/1999  
for SENIOR ADMINISTRATIVE OFFICER

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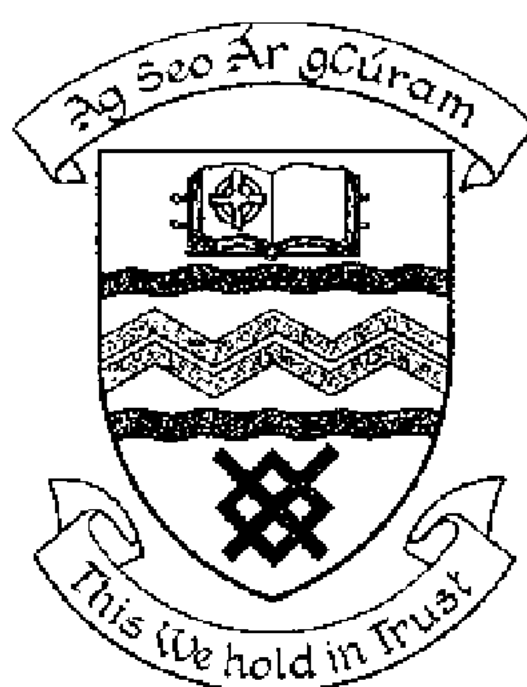
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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1065	Date of Decision 20/05/1999
Register Reference S98A/0199	Date 1st April 1998

Applicant Mardivale Limited,  
App. Type Permission  
Development Demolition of existing buildings and replacement with a new single storey public house, lounge bar and restaurant of 1,000 sq.m. together with a 2 storey leisure centre, creche and swimming pool of 800 sq.m., a 2 storey with mansard roof 54 bed hotel with conference and banqueting facilities and ancilliary areas of 2,000 sq.m., a two storey with mansard roof aparthotel in three separate block of 1,500 sq.m. each containing 36 units, associated service areas, car parking and site development works including the closure of the existing entrance and the replacement with a new entrance off the Saggart Road, all within the 6 acre site contained and bounded by the N81 Blessington Road and the N82 Saggart Road.

Location The Embankment Public House, Blessington Road, Tallaght, Dublin 24.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 08/06/1999

Yours faithfully

*BA*  
..... 20/05/1999  
for SENIOR ADMINISTRATIVE OFFICER

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Dublin 7.

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No.  S98A/0199	
1. Location	The Embankment Public House, Blessington Road, Tallaght, Dublin 24.		
2. Development	Demolition of existing buildings and replacement with a new single storey public house, lounge bar and restaurant of 1,000 sq.m. together with a 2 storey leisure centre, creche and swimming pool of 800 sq.m., a 2 storey with mansard roof 54 bed hotel with conference and banqueting facilities and ancilliary areas of 2,000 sq.m., a two storey with mansard roof aparthotel in three separate block of 1,500 sq.m. each containing 36 units, associated service areas, car parking and site development works including the closure of the existing entrance and the replacement with a new entrance off the Saggart Road, all within the 6 acre site contained and bounded by the N81 Blessington Road and the N82 Saggart Road.		
3. Date of Application	21/08/98	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 29/05/98 2.	1. 21/08/98 2.
4. Submitted by	Name: T. G. Neasy and Associates, Address: 5 Arran Square, Arran Quay,		
5. Applicant	Name: Mardivale Limited, Address: Anglesea Road, Ballsbridge, Dublin 4.		
6. Decision	O.C.M. No. 2117  Date 19/10/98	Effect FC SEEK CLARIFICATION OF ADDITIONAL INFO.	
7. Grant	O.C.M. No.  Date	Effect	

8.	Appeal Notified		
9.	Appeal Decision		
10.	Material Contravention		
11.	Enforcement 0	Compensation 0	Purchase Notice 0
12.	Revocation or Amendment		
13.	E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14.	..... Registrar	..... Date	..... Receipt No.