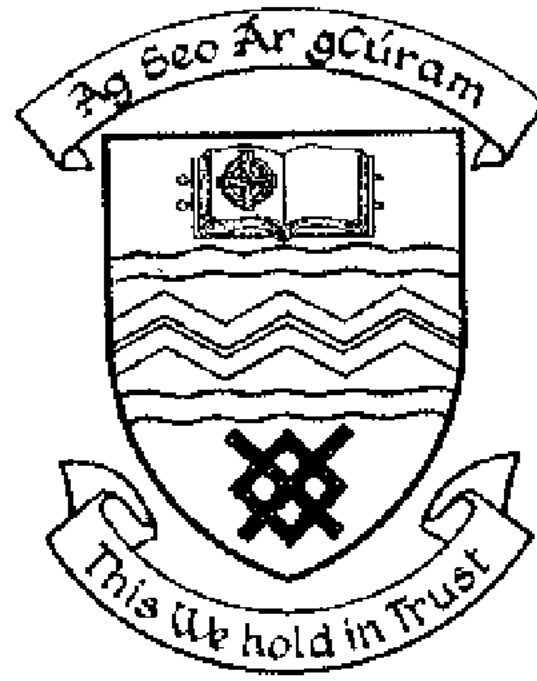


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S98A/0370	
1. Location	Ulster Bank Limited, Main Street, Tallaght, Dublin 24.		
2. Development	Changes to front elevation, internal refurbishment, erection of temporary bank premises to rear of existing bank and widening of vehicular entrance to rear open space.		
3. Date of Application	08/06/98	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 05/08/98 2.	1. 17/08/98 2.
4. Submitted by	Name: Brian Leyden, Address: Architects, Broom House, 65 Mulgrave Street,		
5. Applicant	Name: Ulster Bank Limited, Address: Ulster Bank Premises Department, 5 Oxford Street, Belfast, BT13 1A, Northern Ireland.		
6. Decision	O.C.M. No. 2102 Date 15/10/98	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 2377 Date 25/11/98	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar Date Receipt No.	

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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Baile Átha Cliath 24

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Brian Leyden,
Architects,
Broom House,
65 Mulgrave Street,
Dun Laoghaire,
Co. Dublin.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 2377	Date of Final Grant 25/11/98
Decision Order Number 2102	Date of Decision 15/10/98
Register Reference S98A/0370	Date 17th August 1998

Applicant Ulster Bank Limited,

Development Changes to front elevation, internal refurbishment,
erection of temporary bank premises to rear of existing
bank and widening of vehicular entrance to rear open space.

Location Ulster Bank Limited, Main Street, Tallaght, Dublin 24.

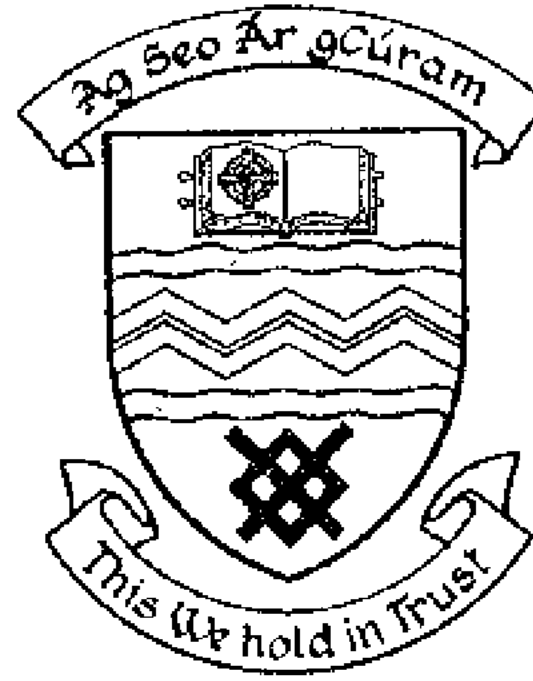
Floor Area 571.000 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 05/08/98 /17/08/98

A Permission has been granted for the development described above,
subject to the following (13) conditions.

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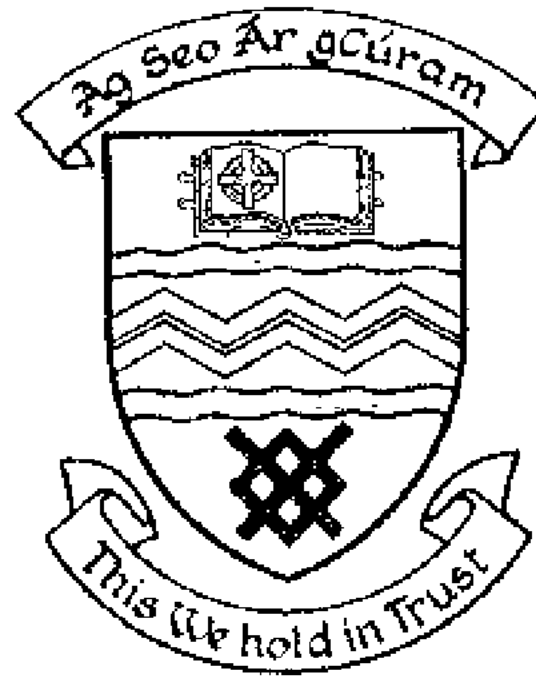
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 17/08/98, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 The parking layout to the rear of the existing bank shall be as per Drawing No. 97-38-12 A received by the Planning Authority on 17/08/98. Upon removal of the temporary bank structure, parking spaces as per the above drawing shall be laid out within one month. The car-parking area shall remain open for the use of customers during bank opening hours.
REASON:
In the interest of traffic safety and the proper planning and development of the area.
- 3 The practice of parking the Securicor Van on the Main Street during deliveries/collections shall be discontinued.
REASON:
In the interest of traffic safety.
- 4 The southern and western boundary walls of the site shall be repaired and made good where necessary. Any proposal to erect further boundary treatments shall be the subject of a separate planning application. In any event, pallisade fencing will not be permitted.
REASON:
In the interest of visual amenity and the proper planning and development of the area.
- 5 The proposed temporary bank structure shall be removed permanently from the site within ONE year of the structure being placed on the site.
REASON:

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In the interest of the proper planning and development of the area.

- 6 The internally illuminated box plastic sign erected on the gable elevation of the building shall be removed permanently prior to the commencement of development on site.

REASON:

In the interest of visual amenity.

- 7 A new sign measuring not greater than 1.0 x 0.66m shall be erected at ground floor level on the gable elevation of the existing bank to indicate 'Customer Car Park to the Rear'.

REASON:

In the interest of traffic safety and the proper planning and development of the area.

- 8 That no further advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.

REASON:

In the interest of the proper planning and development of the area.

- 9 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON:

In the interest of amenity.

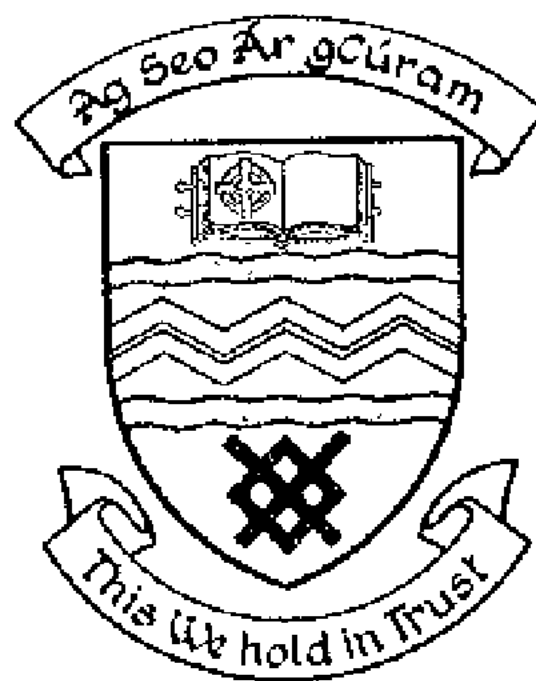
- 10 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 11 The proposed new galvinised steel gates shall be painted a dark colour.

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REASON:

In the interest of visual amenity.

- 12 That a financial contribution in the sum of £1,494 (one thousand four hundred and ninety four pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 13 That a financial contribution in the sum of money equivalent to the value of £6,000 (six thousand pounds) as on 1st January, 1991, updated in accordance with the Wholesale Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

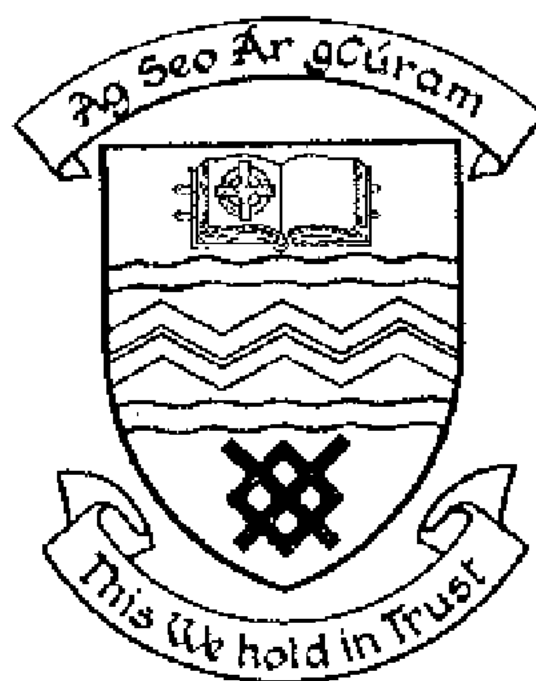
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1991 amended 1994.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.

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- (3) A Fire safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

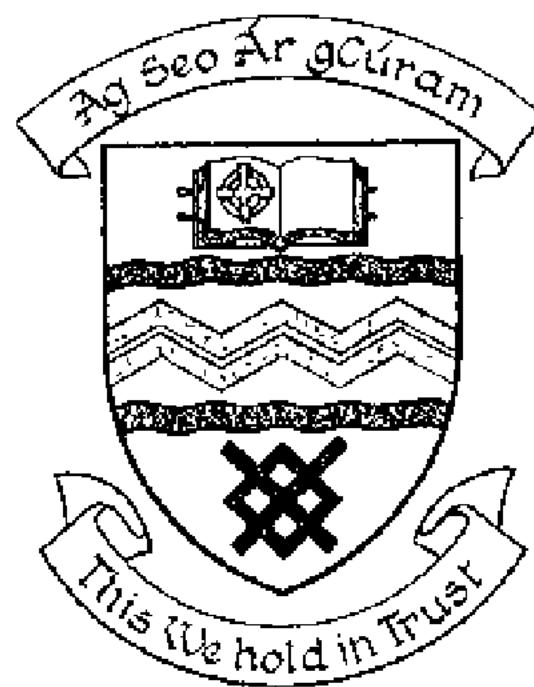
Signed on behalf of South Dublin County Council.

  November 1998
for SENIOR ADMINISTRATIVE OFFICER

**SOUTH DUBLIN COUNTY COUNCIL
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**NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

Decision Order Number 2102	Date of Decision 15/10/98
Register Reference S98A/0370	Date 8th June 1998

Applicant Ulster Bank Limited,

Development Changes to front elevation, internal refurbishment,
erection of temporary bank premises to rear of existing
bank and widening of vehicular entrance to rear open space.

Location Ulster Bank Limited, Main Street, Tallaght, Dublin 24.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 05/08/98 /17/08/98

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a **DECISION TO GRANT PERMISSION** in respect of the above proposal.

subject to the conditions (13) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

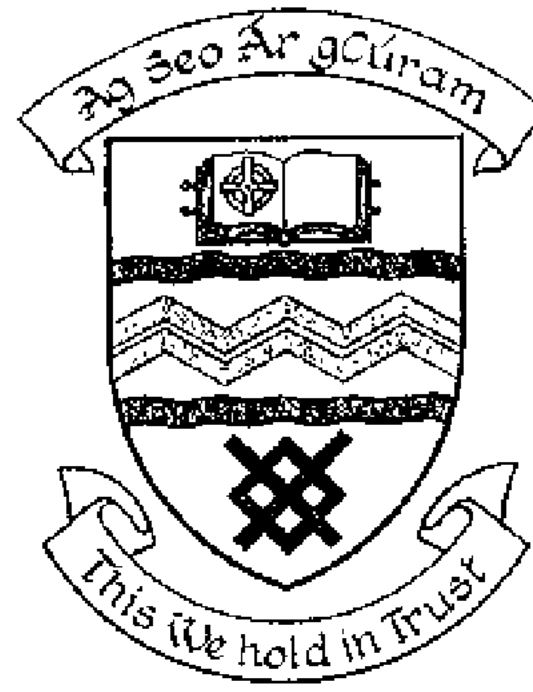
..... 15/10/98
for SENIOR ADMINISTRATIVE OFFICER

Brian Leyden,
Architects,
Broom House,
65 Mulgrave Street,
Dun Laoghaire,
Co. Dublin.

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REG REF. S98A/0370

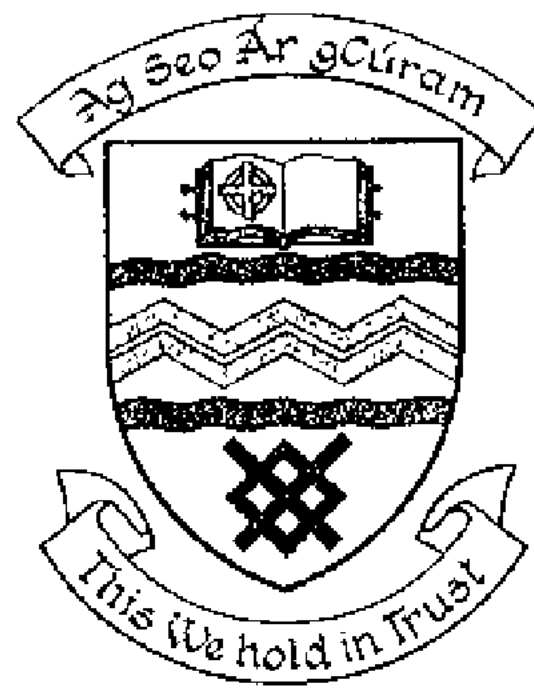
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 17/08/98, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 The parking layout to the rear of the existing bank shall be as per Drawing No. 97-38-12 A received by the Planning Authority on 17/08/98. Upon removal of the temporary bank structure, parking spaces as per the above drawing shall be laid out within one month. The car-parking area shall remain open for the use of customers during bank opening hours.
REASON:
In the interest of traffic safety and the proper planning and development of the area.
- 3 The practice of parking the Securicor Van on the Main Street during deliveries/collections shall be discontinued.
REASON:
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- 4 The southern and western boundary walls of the site shall be repaired and made good where necessary. Any proposal to erect further boundary treatments shall be the subject of a separate planning application. In any event, pallisade fencing will not be permitted.
REASON:

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In the interest of visual amenity and the proper planning and development of the area.

- 5 The proposed temporary bank structure shall be removed permanently from the site within ONE year of the structure being placed on the site.
REASON:
In the interest of the proper planning and development of the area.
- 6 The internally illuminated box plastic sign erected on the gable elevation of the building shall be removed permanently prior to the commencement of development on site.
REASON:
In the interest of visual amenity.
- 7 A new sign measuring not greater than 1.0 x 0.66m shall be erected at ground floor level on the gable elevation of the existing bank to indicate 'Customer Car Park to the Rear'.
REASON:
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- 8 That no further advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.
REASON:
In the interest of the proper planning and development of the area.
- 9 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

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REASON:

In the interest of amenity.

- 10 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 11 The proposed new galvinised steel gates shall be painted a dark colour.

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- 12 That a financial contribution in the sum of £1,494 (one thousand four hundred and ninety four pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

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this contribution to be paid before the commencement of
development on the site.

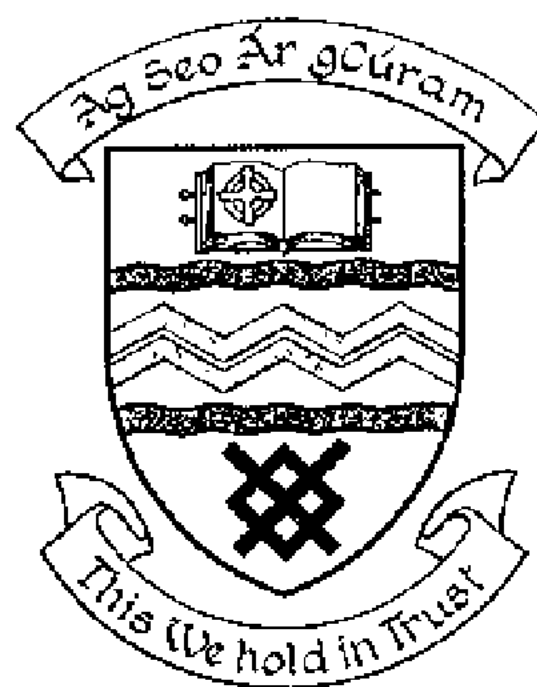
REASON:

It is considered reasonable that the developer should
contribute towards the expenditure that was incurred and/or
that is proposed to be incurred by the Council on road
improvement works and traffic management schemes
facilitating the proposed development.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1533	Date of Decision 05/08/98
Register Reference S98A/0370	Date 8th June 1998

Applicant Ulster Bank Limited,
Development Changes to front elevation, internal refurbishment,
erection of temporary bank premises to rear of existing
bank and widening of vehicular entrance to rear open space.

Location Ulster Bank Limited, Main Street, Tallaght, Dublin 24.

App. Type Permission

Dear Sir/Madam,

With reference to your planning application, received on 08/06/98 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1993, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

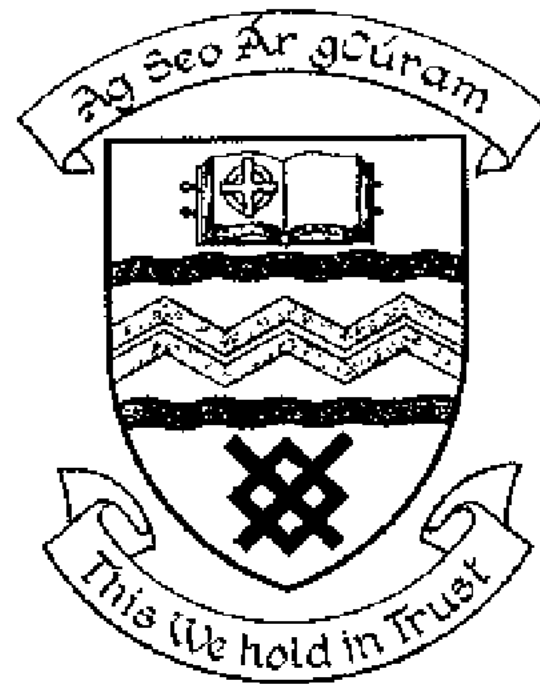
- 1 The applicant is requested to submit a revised site layout plan to show the routes and connections to the public foul and surface water sewers from the temporary banking structure.
- 2 The applicant is requested to submit proposals for off-street car parking for the finished development to current County Development Plan Standards.
- 3 The applicant is requested to indicate proposals for boundary treatment on the south and west boundaries.

Brian Leyden,
Architects,
Broom House,
65 Mulgrave Street,
Dun Laoghaire,

SOUTH DUBLIN COUNTY COUNCIL
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REG REF. S98A/0370

Signed on behalf of South Dublin County Council

W.H.
.....
for Senior Administrative Officer

05/08/98