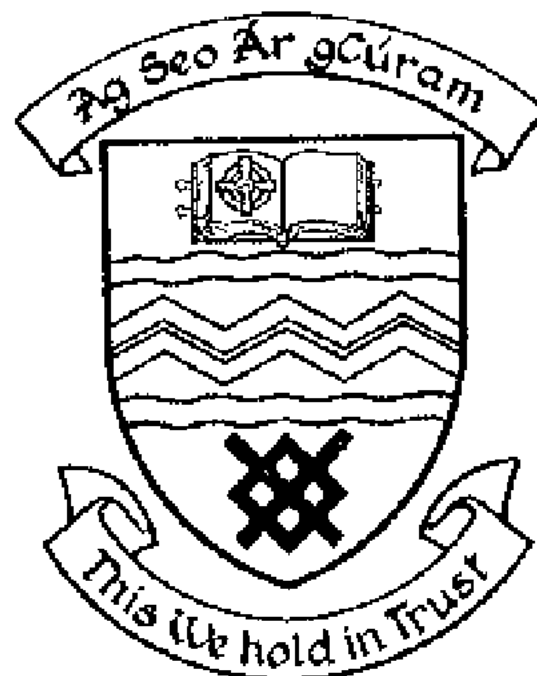


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S98A/0371	
1. Location	Main Street, Newcastle, Co. Dublin.		
2. Development	An extension to side incorporating new cellar and toilet block, porch to rear and alterations to interior layout.		
3. Date of Application	09/06/98	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 06/08/1998 2.	1. 20/08/1999 2.
4. Submitted by	Name: D. McCarthy & Co. Consulting Engineers, Address: Lynwood House, Ballinteer Road, Dublin 16.		
5. Applicant	Name: A. McEvoy, Address: Main Street, Newcastle, Co. Dublin.		
6. Decision	O.C.M. No. 2266 Date 18/10/1999	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 2678 Date 03/12/1999	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar Date Receipt No.	

SOUTH DUBLIN COUNTY COUNCIL
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D. McCarthy & Co. Consulting Engineers,
Lynwood House,
Ballinteer Road,
Dublin 16.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 2678	Date of Final Grant 03/12/1999
Decision Order Number 2266	Date of Decision 18/10/1999
Register Reference S98A/0371	Date 20/08/99

Applicant A. McEvoy,

Development An extension to side incorporating new cellar and toilet block, porch to rear and alterations to interior layout.

Location Main Street, Newcastle, Co. Dublin.

Floor Area 125.00 Sq Metres

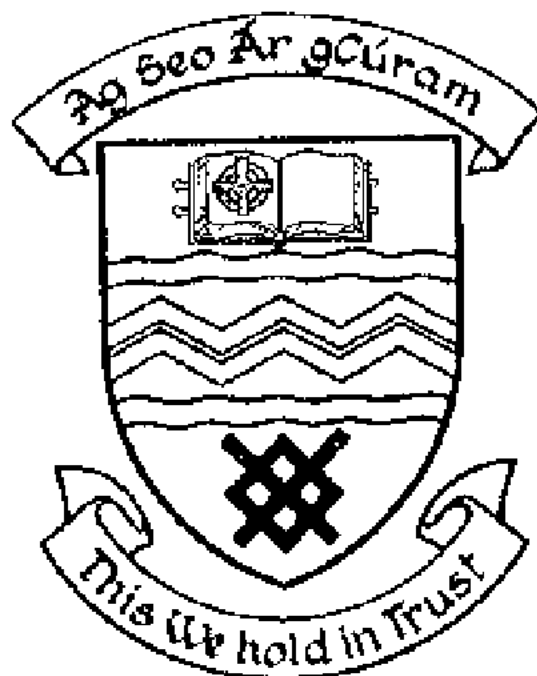
Time extension(s) up to and including

Additional Information Requested/Received 06/08/1998 /20/08/1999

A Permission has been granted for the development described above,
subject to the following (14) Conditions.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by way of additional information received 20.08.99, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 With regard to the main cottage building all original windows shall, as far as possible, be retained and restored where necessary and shall be traditional timber sliding sash windows. Where such retention and/or restoration is not possible, the replacement windows (which shall be traditional timber sliding sash windows) shall be an absolute accurate copy in panel layout and moulding profile to the original window.

REASON:

In the interests of visual amenity and in order to protect the architectural integrity of this List 2 building.

- 3 The roof of the proposed extension shall be finished in natural slate. In the event that the existing asbestos roof is removed from the existing rear extension of the building, this roof section shall also be finished in natural slate.

REASON:

To ensure that the integrity of this important listed building is maintained.

- 4 The proposed alterations and the provision of services shall be designed to cause minimum interference to the building structure and/or fabric and shall be designed to be reversible where possible.

REASON:

To ensure that the integrity of this important listed building is maintained and that the proposed alteration works are carried out in accordance with good conservation practice with no unauthorised or unnecessary damage or loss of historic building fabric.

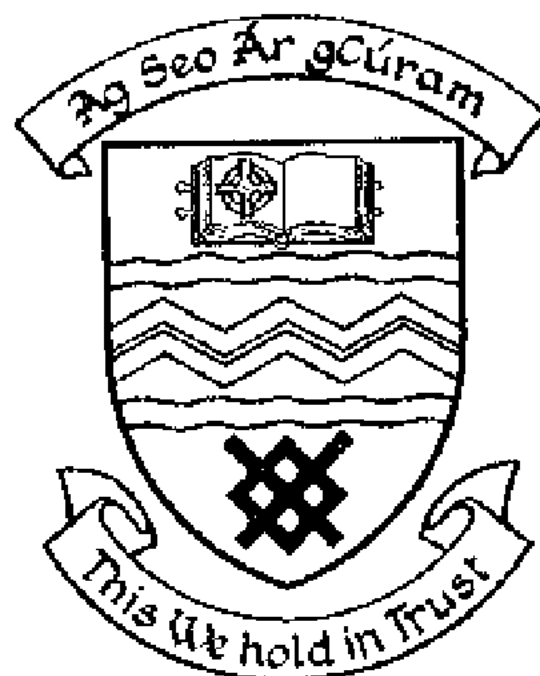
- 5 All alterations and works proposed shall be carried out under the professional supervision on site of an architect with specialised conservation expertise.

REASON:

To ensure that the integrity of this important listed building is maintained and that the proposed alteration

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works are carried out in accordance with good conservation practice with no unauthorised or unnecessary damage or loss of historic building fabric.

- 6 The right hand side vision splay on the Hazelhatch Road which adjoins the boundary with the neighbouring dwelling shall be improved to the satisfaction of the Planning Authority. Prior to the commencement of development, full details of this revision shall be submitted for the written agreement of the Planning Authority and no works shall commence on site until this vision splay is improved to the satisfaction of the Planning Authority.

REASON:

In the interests of safety.

- 7 No signs including any illuminated advertisements, neon or otherwise, exhibited as part of a window display affixed to the inside of the glazing, advertising structures, banners, canopies, flags, security shutters, lighting fixtures or other projecting elements shall be erected or fixed to the building without a prior grant of planning permission.

REASON:

In the interests of visual amenity and in order to protect the architectural integrity of this List 1 building.

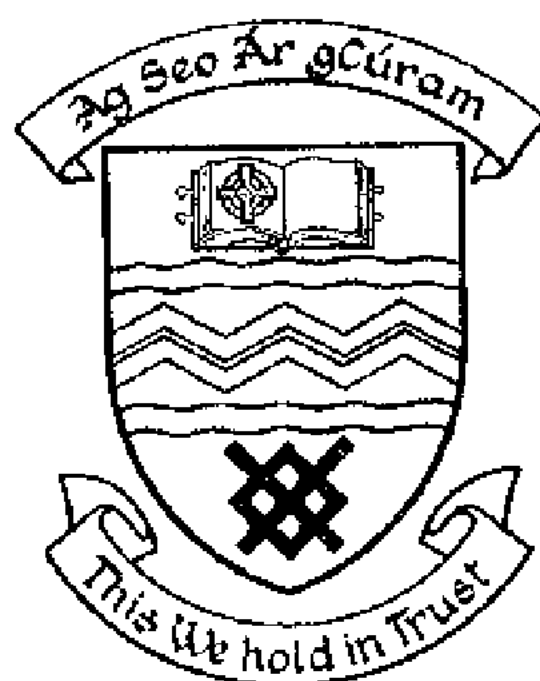
- 8 Full details of any revision to the boundary treatment, arising from the proposed development, shall be submitted for the written agreement of the Planning Authority.

REASON:

In the interest of the proper planning and development of the area.

- 9 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council and shall have regard to the following requirements :

- (a) All waste water from commercial, business or institutional kitchens shall be routed via an appropriate grease trap or grease removal system before being discharged to the public sewer.
- (b) Applicant shall ensure full and complete separation of foul and surface water systems.
- (c) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these



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minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.

- (d) Prior to commencement of development, the applicant shall investigate the option of draining to a surface water sewer, and if feasible applicant to submit full details of proposed drainage, including pipe sizes, gradients, cover and invert levels, up to and including connection to public sewer.
- (e) Prior to the commencement of the works, applicant shall submit for the approval of the Area Engineer, Deansrath Depot (tel. (01) 4570784) a watermain layout drawing. Drawing to indicate proposed water main sizes, valve, meter and hydrant layout, proposed points of connections to existing watermains. Layout shall be in accordance with Part B of 1997 Building Regulations.
- (f) 24 hr. storage shall be provided.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 10 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development and shall have regard to the following :

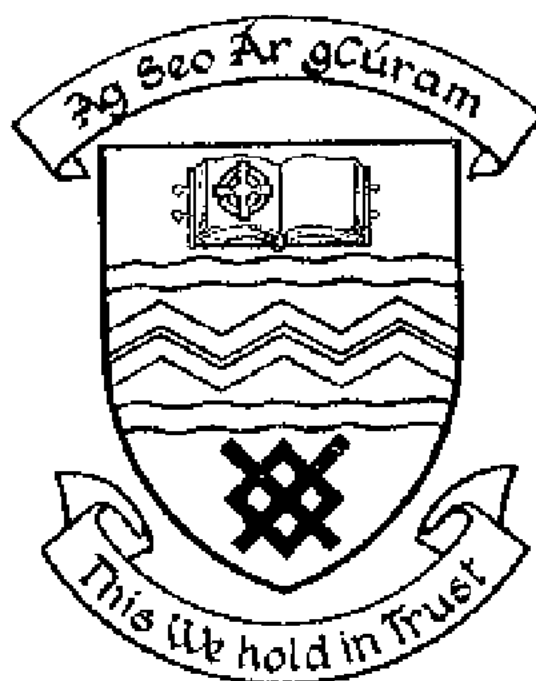
- 1. During the construction phase of the development, Best Practicable Means shall be employed to minimise air blown dust being emitted from the site. This shall include covering skips and slack-heaps, netting of scaffolding, daily washing down of pavements or other public areas, and any other precautions necessary to prevent dust nuisances. There must be compliance with British Standard B.S.5228 Noise Control on Construction and Open sites.
- 2. Smoke, grit, dust, ash, acid spray or liquid droplets shall not be emitted from the premises in such a manner or quantity as to give rise to a nuisance to persons in the neighbourhood.
- 3. Compliance with the Health, Safety and Welfare at Work Act, 1989.

REASON:

In the interest of health.

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- 11 That a financial contribution in the sum of £1034 (one thousand and thirty four pounds) (EUR 1312 one thousand three hundred and twelve Euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 12 That a financial contribution in the sum of £2,688 (two thousand six hundred and eighty eight pounds) (EUR 3413 three thousand four hundred and thirteen Euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 13 That a financial contribution in the sum of £9,780 per hectare (nine thousand seven hundred and eighty pounds) Eur 12,418 per hectare (twelve thousand four hundred and eighteen Euros) be paid by the proposer to South Dublin County Council towards the cost of the Saggart/Rathcoole/Newcastle Foul Sewer which serves this development; this contribution to be paid before the commencement of development on site.

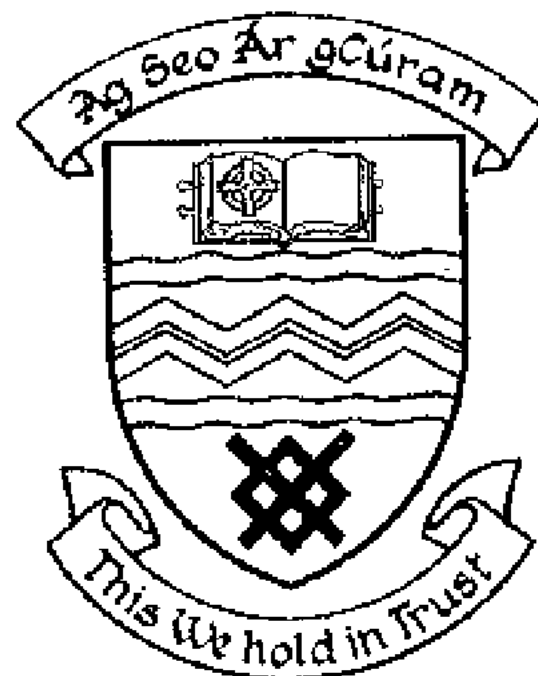
REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute to the cost of the works.

- 14 That a financial contribution in the sum of £20,276 per hectare (twenty thousand, two hundred and seventy six pounds) Eur 25,745 per hectare (twenty five thousand, seven hundred and forty five Euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development; this contribution to be paid before the commencement of

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development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.


.....03/12/99
for SENIOR ADMINISTRATIVE OFFICER

SOUTH DUBLIN COUNTY COUNCIL
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Lár an Bhaile, Tamhlacht,
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Facs: 01-414 9104

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Town Centre, Tallaght,
Dublin 24.

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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 2266	Date of Decision 18/10/1999
Register Reference S98A/0371	Date: 09/06/98

Applicant A. McEvoy,

Development An extension to side incorporating new cellar and toilet block, porch to rear and alterations to interior layout.

Location Main Street, Newcastle, Co. Dublin.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 06/08/1998 /20/08/1999

Clarification of Additional Information Requested/Received /

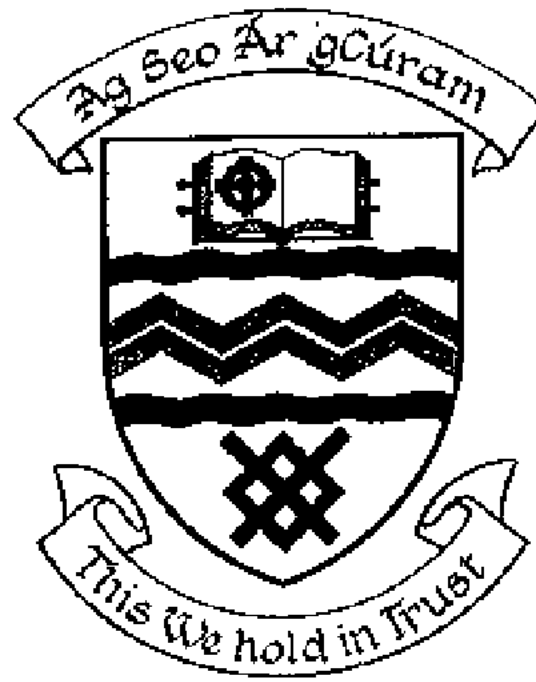
In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (14) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

..... 18/10/99
for SENIOR ADMINISTRATIVE OFFICER

D. McCarthy & Co. Consulting Engineers,
Lynwood House,
Ballinteer Road,
Dublin 16.

SOUTH DUBLIN COUNTY COUNCIL
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P.O. Box 4122,
Town Centre, Tallaght,
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Fax: 01-414 9104

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by way of additional information received 20.08.99, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 With regard to the main cottage building all original windows shall, as far as possible, be retained and restored where necessary and shall be traditional timber sliding sash windows. Where such retention and/or restoration is not possible, the replacement windows (which shall be traditional timber sliding sash windows) shall be an absolute accurate copy in panel layout and moulding profile to the original window.

REASON:

In the interests of visual amenity and in order to protect the architectural integrity of this List 2 building.

- 3 The roof of the proposed extension shall be finished in natural slate. In the event that the existing asbestos roof is removed from the existing rear extension of the building, this roof section shall also be finished in natural slate.

REASON:

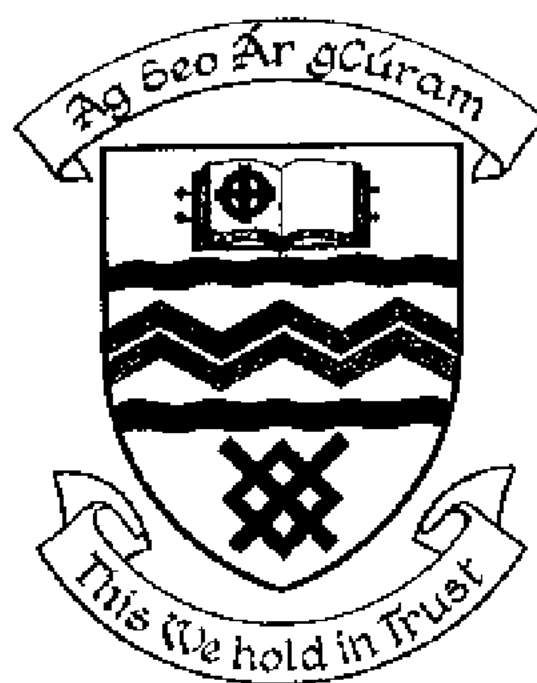
To ensure that the integrity of this important listed building is maintained.

- 4 The proposed alterations and the provision of services shall be designed to cause minimum interference to the building structure and/or fabric and shall be designed to be reversible where possible.

REASON:

To ensure that the integrity of this important listed building is maintained and that the proposed alteration works are carried out in accordance with good conservation practice with no unauthorised or unnecessary damage or loss of historic building fabric.

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- 5 All alterations and works proposed shall be carried out under the professional supervision on site of an architect with specialised conservation expertise.

REASON:

To ensure that the integrity of this important listed building is maintained and that the proposed alteration works are carried out in accordance with good conservation practice with no unauthorised or unnecessary damage or loss of historic building fabric.

- 6 The right hand side vision splay on the Hazelhatch Road which adjoins the boundary with the neighbouring dwelling shall be improved to the satisfaction of the Planning Authority. Prior to the commencement of development, full details of this revision shall be submitted for the written agreement of the Planning Authority and no works shall commence on site until this vision splay is improved to the satisfaction of the Planning Authority.

REASON:

In the interests of safety.

- 7 No signs including any illuminated advertisements, neon or otherwise, exhibited as part of a window display affixed to the inside of the glazing, advertising structures, banners, canopies, flags, security shutters, lighting fixtures or other projecting elements shall be erected or fixed to the building without a prior grant of planning permission.

REASON:

In the interests of visual amenity and in order to protect the architectural integrity of this List 1 building.

- 8 Full details of any revision to the boundary treatment, arising from the proposed development, shall be submitted for the written agreement of the Planning Authority.

REASON:

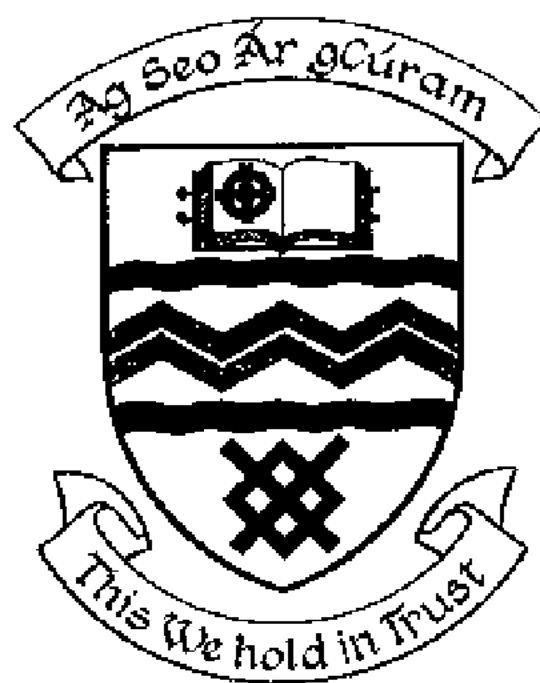
In the interest of the proper planning and development of the area.

- 9 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council and shall have regard to the following requirements :

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- (a) All waste water from commercial, business or institutional kitchens shall be routed via an appropriate grease trap or grease removal system before being discharged to the public sewer.
- (b) Applicant shall ensure full and complete separation of foul and surface water systems.
- (c) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
- (d) Prior to commencement of development, the applicant shall investigate the option of draining to a surface water sewer, and if feasible applicant to submit full details of proposed drainage, including pipe sizes, gradients, cover and invert levels, up to and including connection to public sewer.
- (e) Prior to the commencement of the works, applicant shall submit for the approval of the Area Engineer, Deansrath Depot (tel. (01) 4570784) a watermain layout drawing. Drawing to indicate proposed water main sizes, valve, meter and hydrant layout, proposed points of connections to existing watermains. Layout shall be in accordance with Part B of 1997 Building Regulations.
- (f) 24 hr. storage shall be provided.

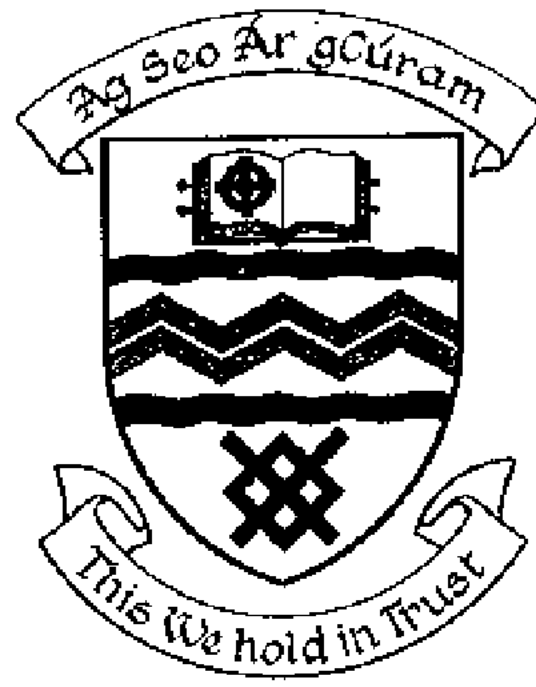
REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 10 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development and shall have regard to the following :

- 1. During the construction phase of the development, Best Practicable Means shall be employed to minimise air blown dust being emitted from the site. This

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shall include covering skips and slack-heaps, netting of scaffolding, daily washing down of pavements or other public areas, and any other precautions necessary to prevent dust nuisances. There must be compliance with British Standard B.S.5228 Noise Control on Construction and Open sites.

2. Smoke, grit, dust, ash, acid spray or liquid droplets shall not be emitted from the premises in such a manner or quantity as to give rise to a nuisance to persons in the neighbourhood.
3. Compliance with the Health, Safety and Welfare at Work Act, 1989.

REASON:

In the interest of health.

- 11 That a financial contribution in the sum of £1034 (one thousand and thirty four pounds) (EUR 1312 one thousand three hundred and twelve Euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

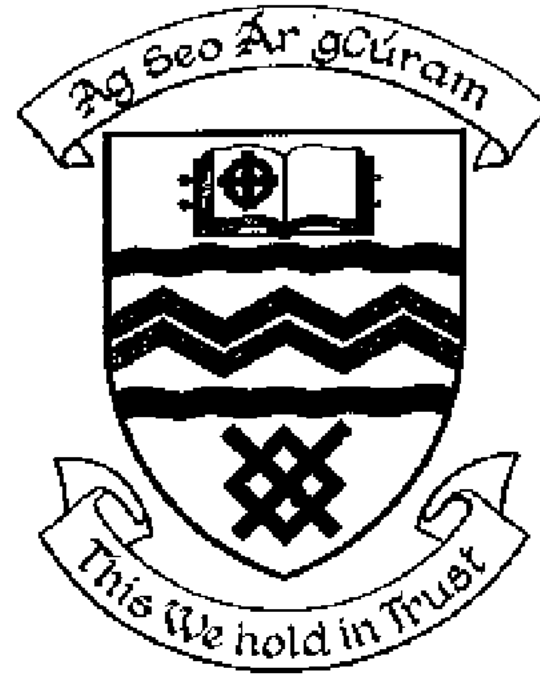
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 12 That a financial contribution in the sum of £2,688 (two thousand six hundred and eighty eight pounds) (EUR 3413 three thousand four hundred and thirteen Euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road

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improvement works and traffic management schemes
facilitating the proposed development.

- 13 That a financial contribution in the sum of £9,780 per hectare (nine thousand seven hundred and eighty pounds) Eur 12,418 per hectare (twelve thousand four hundred and eighteen Euros) be paid by the proposer to South Dublin County Council towards the cost of the Saggart/Rathcoole/Newcastle Foul Sewer which serves this development; this contribution to be paid before the commencement of development on site.

REASON:

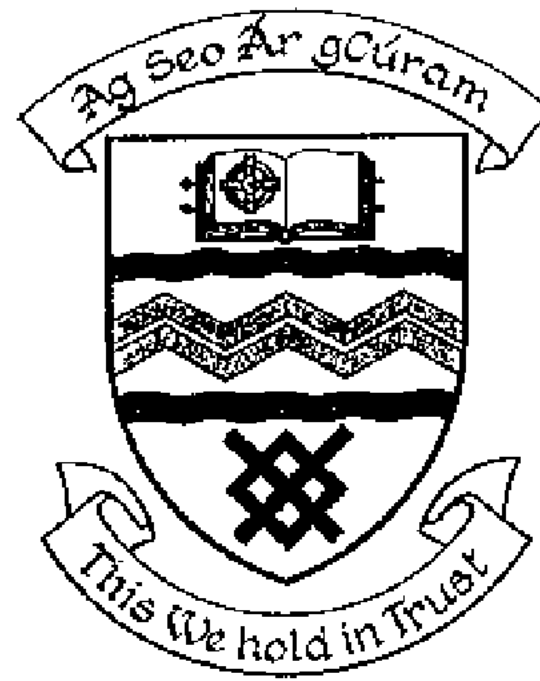
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute to the cost of the works.

- 14 That a financial contribution in the sum of £20,276 per hectare (twenty thousand, two hundred and seventy six pounds) Eur 25,745 per hectare (twenty five thousand, seven hundred and forty five Euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development; this contribution to be paid before the commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

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Fax: 01-414 9104

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1536	Date of Decision 06/08/98
Register Reference S98A/0371	Date 9th June 1998

Applicant A. McEvoy,
Development An extension to side incorporating new cellar and toilet
 block, porch to rear and alterations to interior layout.

Location Main Street, Newcastle, Co. Dublin.

App. Type Permission

Dear Sir/Madam,
With reference to your planning application, received on 09/06/98 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1993, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

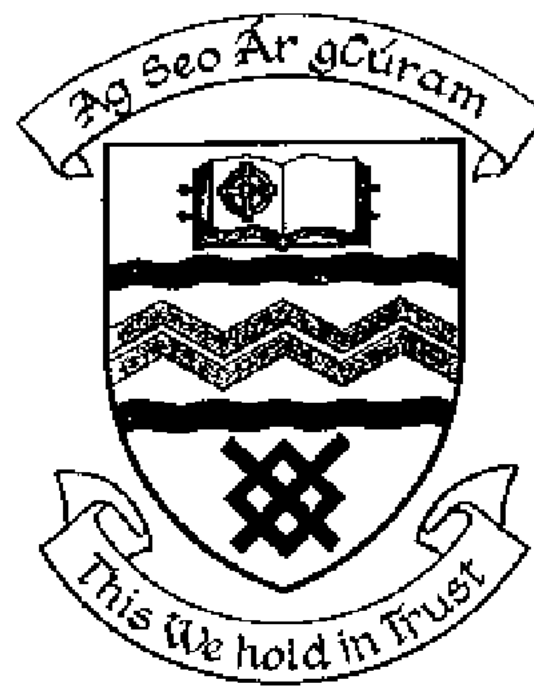
- 1 The applicant is requested to submit a schedule of the existing and proposed public areas within the public house along with existing and proposed floor plans.
- 2 The applicant is requested to submit full details of the proposed materials to be used in the proposed refurbished windows. (It is noted that the building is a listed building and proposals other for than timber sash windows would not be acceptable).
- 3 The applicant is requested to submit a carparking layout for the existing car park taking account of current development plan standards and to include any proposals he may have for additional on site car parking facilities. The applicant is advised to consult with the Roads Department prior to submission.

4 The applicant is requested to submit his proposals if any for improvements to the entrance to the car park which is extremely hazardous due to lack of vision. (The
D. McCarthy & Co. Consulting Engineers,
Lynwood House,
Ballinteer Road,
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applicant is advised to consult with the Roads Department
prior to submission).

- 5 The lodged submission shows the proposed building to be
in a position within a five metre distance of the
existing sewer. This is unacceptable. The applicant is
requested to submit foul and surface water layout drawings
which show a minimum distance of five metres from the
building.

Signed on behalf of South Dublin County Council

ltt
.....
for Senior Administrative Officer

06/08/98