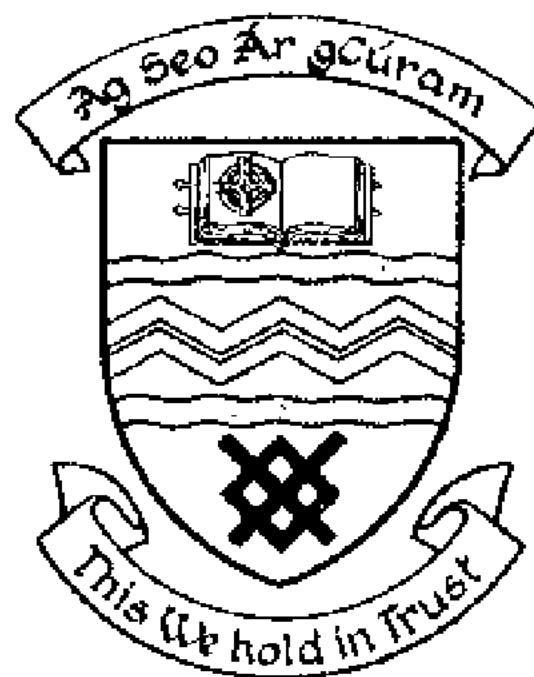


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S98A/0460	
1. Location	Unit 911 & Unit 950, Western Industrial Estate, Dublin 12.		
2. Development	Change of use of unit 911 to storage/light engineering with ancillary offices, reorganisation of site layout, including demolition and relocation of (a) existing store/canteen building, (b) portacabin, (c) storage compound, (d) cylinder sort canopy, demolition and removal of fueling facility, two additional liquid bulk storage tanks (inert), new palisade fencing (black), retention of signage to Nangor Road and additional on site car parking.		
3. Date of Application	07/07/98	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 28/09/98 2.	1. 28/10/98 2.
4. Submitted by	Name: Air Products Ireland Ltd., Address: Unit 950, Western Industrial Estate,		
5. Applicant	Name: Air Products Ireland Limited, Address: Unit 950, Western Industrial Estate, Dublin 12.		
6. Decision	O.C.M. No. 2451 Date 04/12/98	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 0064 Date 13/01/99	Effect AP GRANT PERMISSION	
8. Appeal Notified			
9. Appeal Decision			

10. Material Contravention		
11. Enforcement 0	Compensation 0	Purchase Notice 0
12. Revocation or Amendment		
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14. Registrar Date Receipt No.

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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Baile Átha Cliath 24

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P.O. Box 4122
Town Centre, Tallaght
Dublin 24

Telephone: 01-414 9230
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Air Products Ireland Ltd.,
Unit 950,
Western Industrial Estate,
Dublin 12.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 0064	Date of Final Grant 13/01/99
Decision Order Number 2451	Date of Decision 04/12/98
Register Reference S98A/0460	Date 28th October 1998

Applicant Air Products Ireland Limited,

Development Change of use of unit 911 to storage/light engineering with ancillary offices, reorganisation of site layout, including demolition and relocation of (a) existing store/canteen building, (b) portacabin, (c) storage compound, (d) cylinder sort canopy, demolition and removal of fueling facility, two additional liquid bulk storage tanks (inert), new palisade fencing (black), retention of signage to Nangor Road and additional on site car parking.

Location Unit 911 & Unit 950, Western Industrial Estate, Dublin 12.

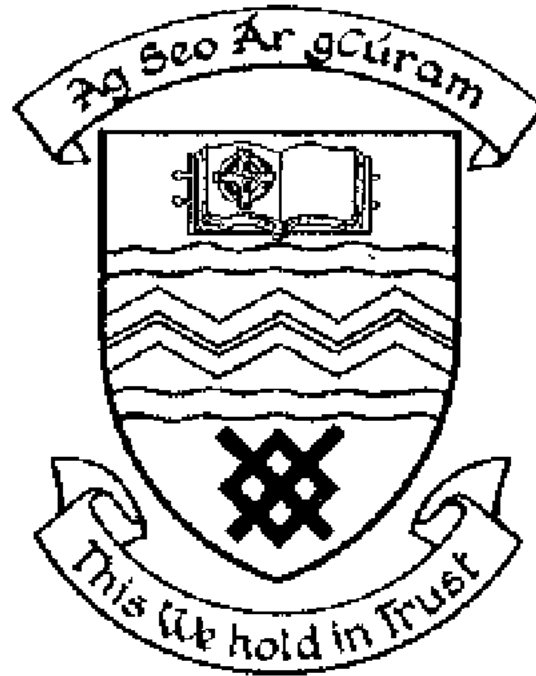
Floor Area 477.250 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 28/09/98 /28/10/98

A Permission has been granted for the development described above,
subject to the following (7) Conditions.

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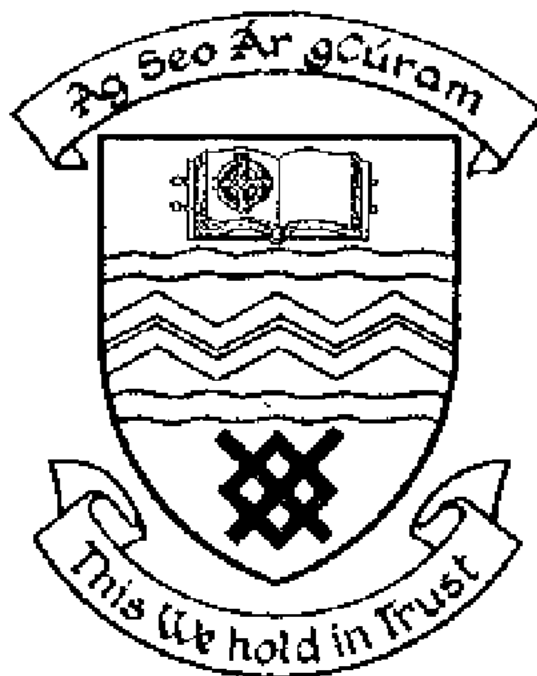
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by the additional information received by the Planning Authority on 28/10/98, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.
REASON:
In the interest of safety and the avoidance of fire hazard.
- 3 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.
REASON:
In the interest of health.
- 4 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council and shall have regard to the following details:-
 - a) Applicant to ensure adequate protection to foul drainage during construction work and any work on plumbing in buildings to prevent infiltration or exfiltration
 - b) Applicant to ensure protection to surface water drainage during construction work and any work on plumbing/roof drainage to prevent infiltration or exfiltration.
 - c) Applicant to refer to Chief Fire Officer regarding the number and location of hydrants in relation to new layout.REASON:
In order to comply with the Sanitary Services Acts, 1878 - 1964.

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- 5 The carparking area indicated on the amended site layout plan received by the Planning Authority on 28/10/98 shall be clearly marked out and available at all times for carparking use and not used for storage or display or other such uses. All carparking spaces shall be marked out with a thermoplastic or other such similar material.
REASON:
In the interest of the proper planning and development of the area.
- 6 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.
REASON:
In the interest of the proper planning and development of the area.
- 7 Within one month of the date of grant of this permission, the two existing freestanding signs located on the Nangor Road boundary of the site shall be removed.
REASON:
In the interests of the visual amenities of the area.
- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1991 amended 1994.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

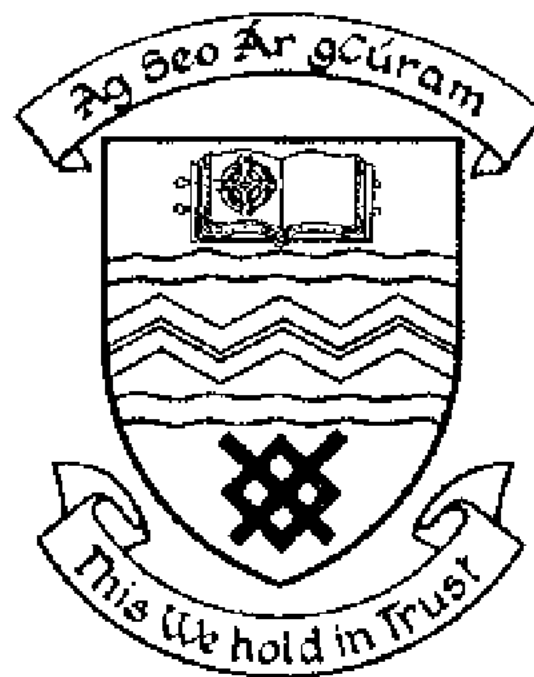
Signed on behalf of South Dublin County Council.

REG REF. S98A/0460

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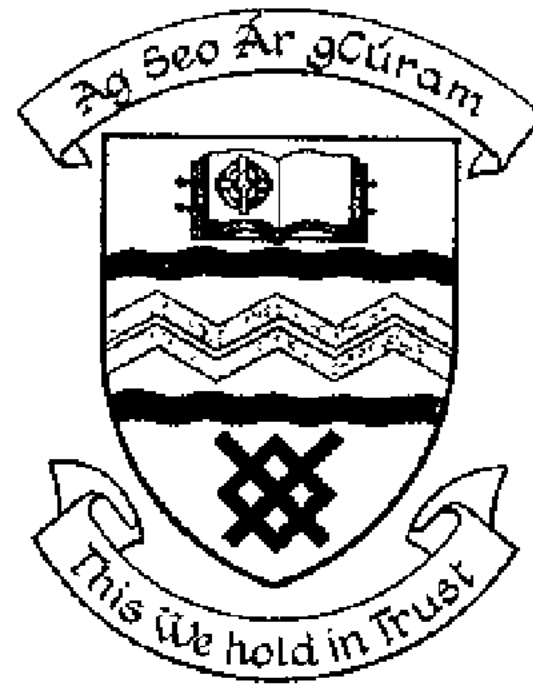
PLANNING DEPARTMENT
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..... 16 January 1999
for SENIOR ADMINISTRATIVE OFFICER

**SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**



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**NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

Decision Order Number 2451	Date of Decision 04/12/98
Register Reference S98A/0460	Date 7th July 1998

Applicant **Air Products Ireland Limited.**

Development	Change of use of unit 911 to storage/light engineering with ancillary offices, reorganisation of site layout, including demolition and relocation of (a) existing store/canteen building, (b) portacabin, (c) storage compound, (d) cylinder sort canopy, demolition and removal of fueling facility, two additional liquid bulk storage tanks (inert), new palisade fencing (black), retention of signage to Nangor Road and additional on site car parking.
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Location Unit 911 & Unit 950, Western Industrial Estate, Dublin 12.

Floor Area	Sq Metres
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Time extension(s) up to and including

Additional Information Requested/Received	28/09/98	/28/10/98
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In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a **DECISION TO GRANT PERMISSION** in respect of the above proposal.

Subject to the conditions (7) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

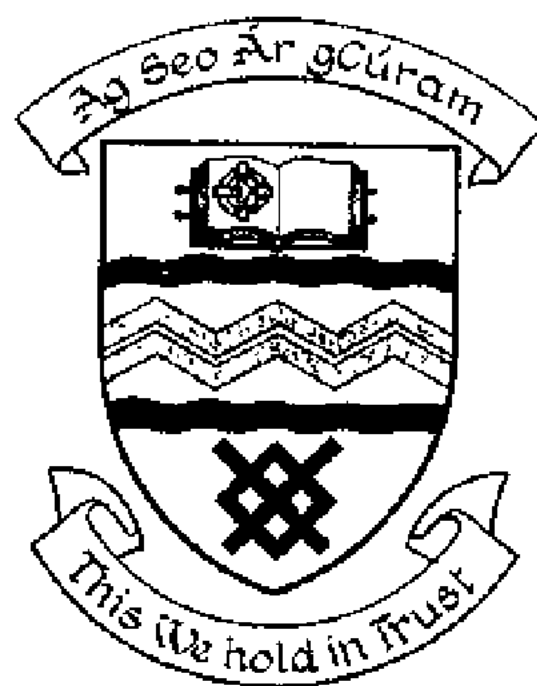
..... 07/12/98
for SENIOR ADMINISTRATIVE OFFICER

Air Products Ireland Ltd.,
Unit 950,
Western Industrial Estate,
Dublin 12.

**SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

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REG REF. S98A/0460

Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by the additional information received by the Planning Authority on 28/10/98, save as may be required by the other conditions attached hereto.
 REASON:
 To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.
 REASON:
 In the interest of safety and the avoidance of fire hazard.

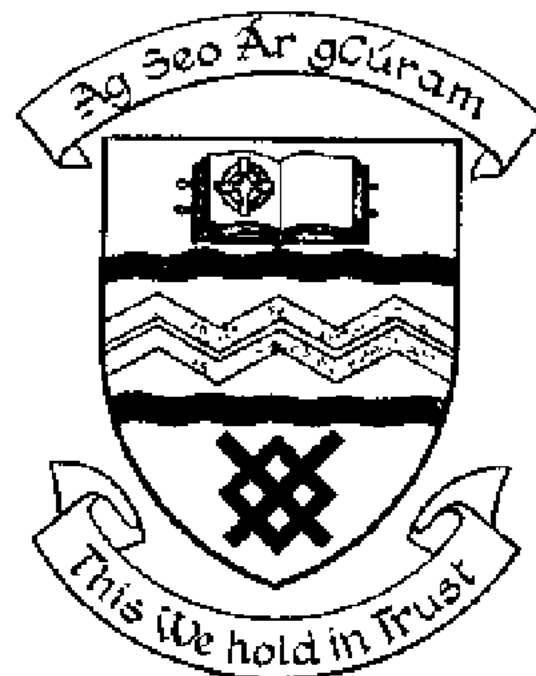
- 3 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.
 REASON:
 In the interest of health.

- 4 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council and shall have regard to the following details:-

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REG. REF. S98A/0460

- a) Applicant to ensure adequate protection to foul drainage during construction work and any work on plumbing in buildings to prevent infiltration or exfiltration
- b) Applicant to ensure protection to surface water drainage during construction work and any work on plumbing/roof drainage to prevent infiltration or exfiltration.
- c) Applicant to refer to Chief Fire Officer regarding the number and location of hydrants in relation to new layout.

REASON:

In order to comply with the Sanitary Services Acts, 1878 - 1964.

- 5 The carparking area indicated on the amended site layout plan received by the Planning Authority on 28/10/98 shall be clearly marked out and available at all times for carparking use and not used for storage or display or other such uses. All carparking spaces shall be marked out with a thermoplastic or other such similar material.

REASON:

In the interest of the proper planning and development of the area.

- 6 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.

REASON:

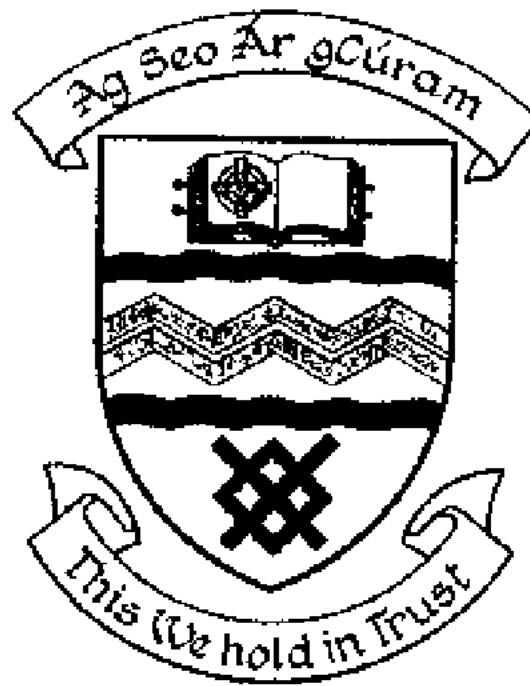
In the interest of the proper planning and development of the area.

- 7 Within one month of the date of grant of this permission, the two existing freestanding signs located on the Nangor Road boundary of the site shall be removed.

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REASON:

In the interests of the visual amenities of the area.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1950	Date of Decision 28/09/98
Register Reference S98A/0460	Date 7th July 1998

Applicant Air Products Ireland Limited,
Development Change of use of unit 911 to storage/light engineering with ancillary offices, reorganisation of site layout, including demolition and relocation of (a) existing store/canteen building, (b) portacabin, (c) storage compound, (d) cylinder sort canopy, demolition and removal of fueling facility, two additional liquid bulk storage tanks (inert), new palisade fencing (black), retention of signage to Nangor Road and additional on site car parking.

Location Unit 911 & Unit 950, Western Industrial Estate, Dublin 12.

App. Type Permission

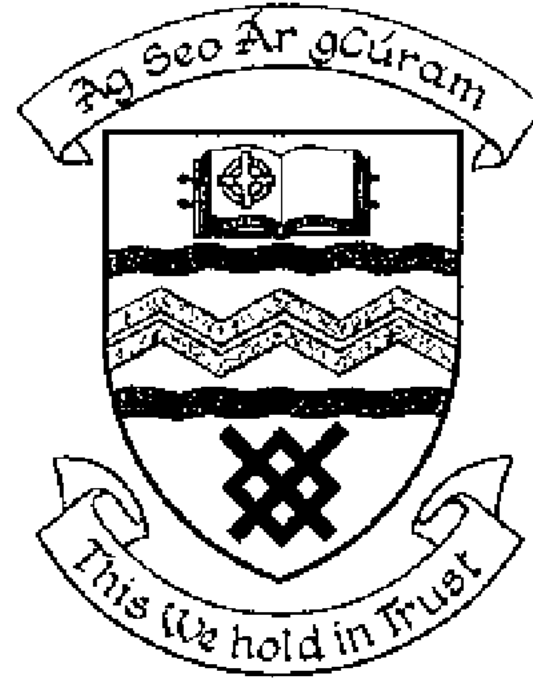
Dear Sir/Madam,

With reference to your planning application, received on 07/07/98 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1993, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

- 1 Applicant to submit an amended site layout plan indicating the existing free standing signage on the site proposed for retention.
- 2 Applicant to submit a schedule of floor areas for the existing and proposed development including a description of whether they are for storage, light industrial or office use.

Air Products Ireland Ltd.,
Unit 950, *Ind.*
Western ~~Ireland~~ Estate,
Dublin 12.

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- 3 Applicant to clarify whether unit 910 is in his/her ownership and whether it forms part of the Air Products site.

NOTE: It would appear that it is proposed to site a portacabin and a gas cylinder storage compound in what is at present the carparking/circulation area for unit 910, it should be noted that this is not acceptable to the Planning Authority and these structures should be resited within the main site in a less prominent position.
It should also be noted that palisade fencing and barbed wire positioned across this carparking area is unacceptable and that alternative security arrangements should be submitted.

- 4 Applicant to clarify whether or not the proposed alterations to Unit 910 will have any implications for Unit 911 and if this is the case applicant to submit any necessary consent from the owners of this unit.
In addition applicant to clarify if it is proposed to alter the front elevation of Unit 910.

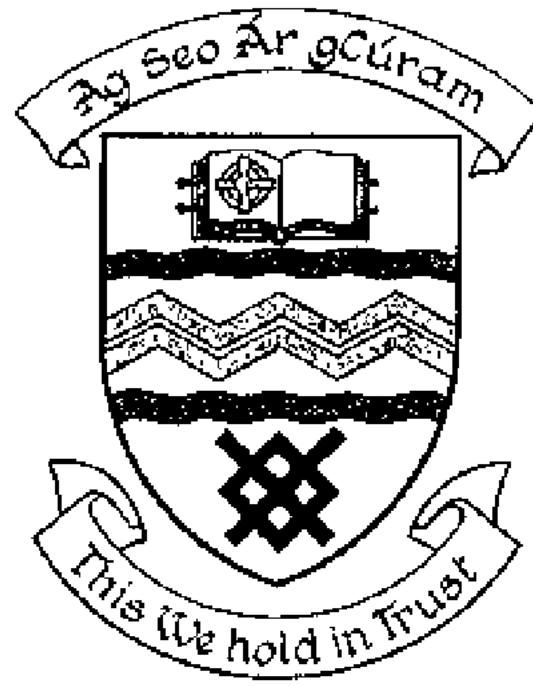
- 5 Applicant to submit full details of proposed drainage, including pipe sizes, gradients, cover and invert levels, up to and including connection to public sewer in relation to proposed buildings.

- 6 Applicant to submit detailed proposed watermain layout indicating watermain sizes, valve, meter and hydrant layout, proposed point of connection to existing watermains. Layout to comply with Building Regulations. Applicant to ensure that:

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- a) All watermains greater than 150mm diameter shall be Ductile Iron;
- b) No part of the perimeter of the building shall be greater than 46m from a hydrant;
- c) Watermains shall be laid in public open space to ensure accessibility for maintenance and repair;
- d) No building shall lie within 5m of watermains less than 225mm diameter and within 8m of watermains greater than 225mm diameter.

NOTE: The applicant is requested to note that public notices should reflect the extent of the proposed development.

Signed on behalf of South Dublin County Council

LA
.....
for Senior Administrative Officer

28/09/98