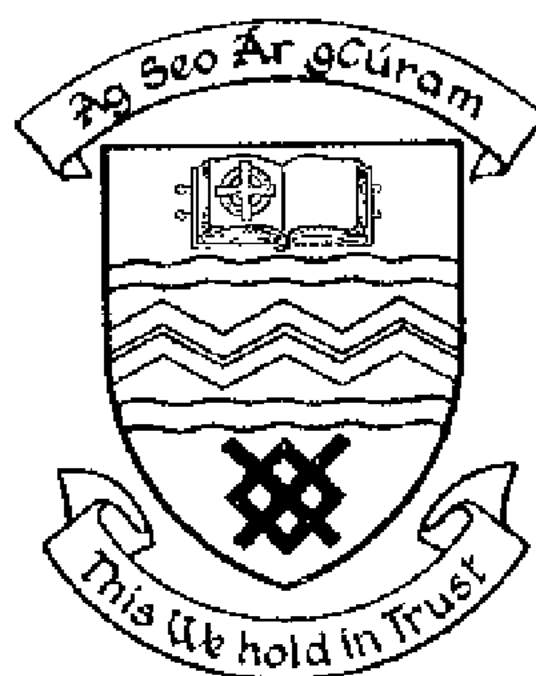


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S98A/0462	
1. Location	Unit 16, Firhouse Shopping Centre, Dublin 24.		
2. Development	Change of use from retail to take-away food outlet.		
3. Date of Application	07/07/98	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Frank Kenny Associates, Address: 5 Clyde Lane, Ballsbridge,		
5. Applicant	Name: New Look Ltd., Address: Unit 15, Carriglea Road, Ballycullen Avenue, Dublin 24.		
6. Decision	O.C.M. No. 1775 Date 03/09/98	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 2114 Date 14/10/98	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement	Compensation	Purchase Notice	
0	0	0	
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar Date Receipt No.	

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Bosca 4122
Lár an Bhaile, Tamhlacht
Baile Átha Cliath 24

Telefon: 01-414 9000
Facs: 01-414 9104



**PLANNING
DEPARTMENT**

P.O. Box 4122
Town Centre, Tallaght
Dublin 24

Telephone: 01-414 9000
Fax: 01-414 9104

Frank Kenny Associates,
5 Clyde Lane,
Ballsbridge,
Dublin 4.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 2114	Date of Final Grant 14/10/98
Decision Order Number 1775	Date of Decision 03/09/98
Register Reference S98A/0462	Date 7th July 1998

Applicant New Look Ltd.,

Development Change of use from retail to take-away food outlet.

Location Unit 16, Firhouse Shopping Centre, Dublin 24.

Floor Area 50.000 Sq Metres

Time extension(s) up to and including

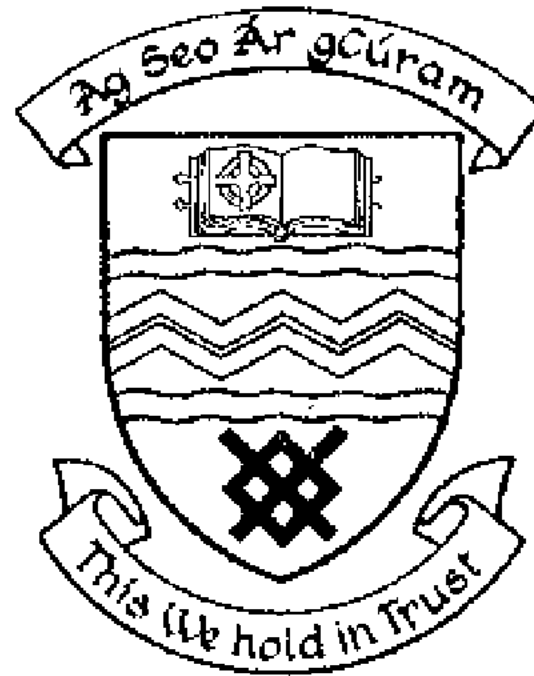
Additional Information Requested/Received /

A Permission has been granted for the development described above,
subject to the following (6) conditions.

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DEPARTMENT

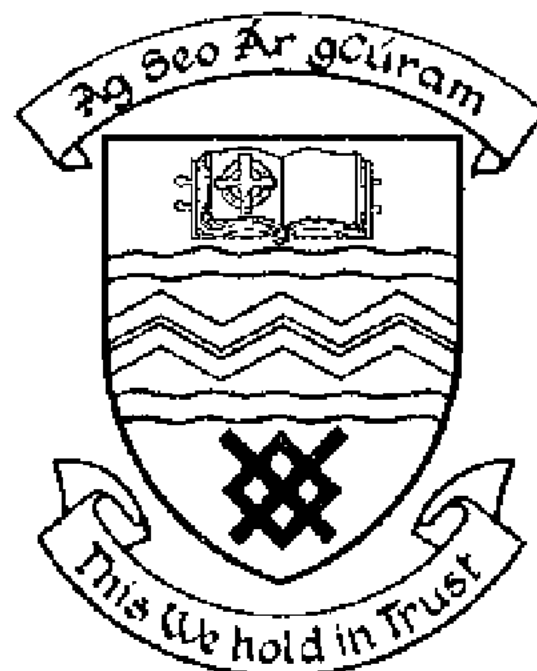
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 The takeaway food outlet shall not operate between the hours of 1.00a.m. and 8.00a.m. daily.
REASON:
In the interests of residential amenity.
- 3 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.
REASON:
In the interest of health.
- 4 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council.
REASON:
In order to comply with the Sanitary Services Acts, 1878 - 1964.
- 5 Prior to development commencing full details of proposed signage shall be submitted for the written agreement of the Planning Authority.
REASON:
In the interest of visual amenity.
- 6 Adequate provision shall be made for litter bin facilities in the vicinity of the proposed take-away shop. Details to be submitted for agreement prior to development commencing.
REASON:
In the interest of amenity.

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- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1991 amended 1994.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

 13 October 1998
for SENIOR ADMINISTRATIVE OFFICER