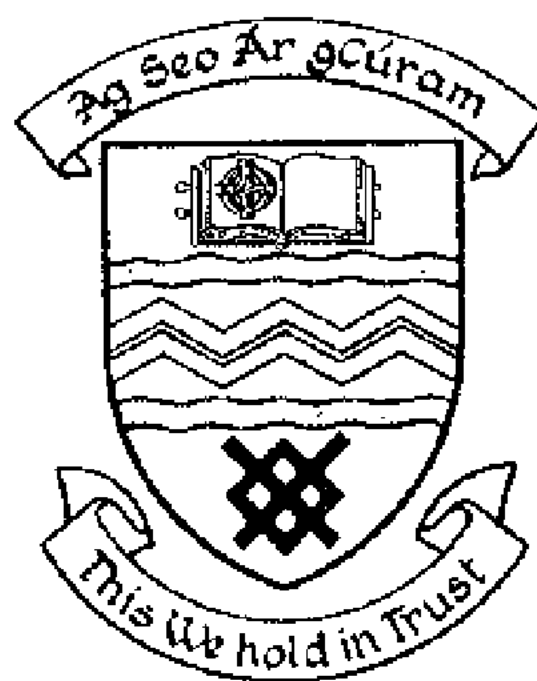


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S98A/0519	
1. Location	Killeen Road, Dublin 12.		
2. Development	A new 3 storey office building approximately 900 sq.m. in area and associated site works.		
3. Date of Application	23/07/98	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: John Neil Partnership, Address: 60 Amiens Street, Dublin 1.		
5. Applicant	Name: Atley Holdings Limited, Address: City Quay House, City Quay, Dublin 2.		
6. Decision	O.C.M. No. 2375 Date 25/11/98	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 0064 Date 13/01/99	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar Date Receipt No.	

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



Bosca 4122
Lár an Bhaile, Tamhlacht
Baile Átha Cliath 24

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Dublin 24

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John Neil Partnership,
60 Amiens Street,
Dublin 1.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 0064	Date of Final Grant 13/01/99
Decision Order Number 2375	Date of Decision 25/11/98
Register Reference S98A/0519	Date 23rd July 1998

Applicant Atley Holdings Limited,

Development A new 3 storey office building approximately 900 sq.m. in area and associated site works.

Location Killeen Road, Dublin 12.

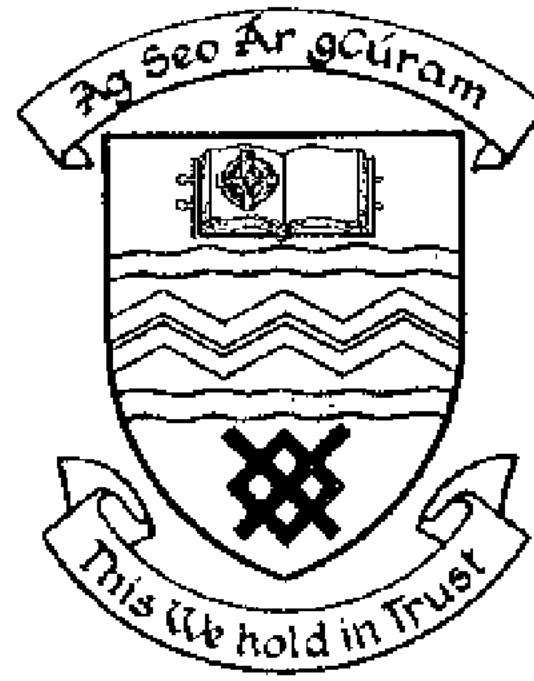
Floor Area 903.000 Sq Metres

Time extension(s) up to and including 27/11/98

Additional Information Requested/Received /

A Permission has been granted for the development described above,
subject to the following (11) Conditions.

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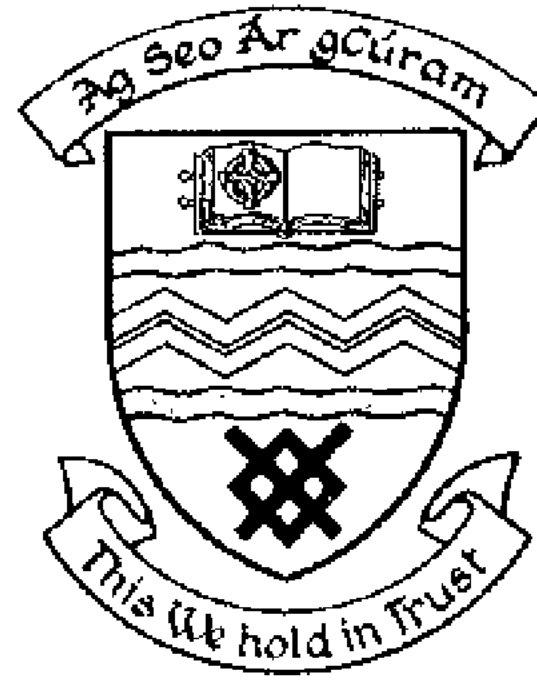
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by the revised plans and details submitted by way of unsolicited additional information and received by the Planning Authority on 27.10.1998, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.
REASON:
In the interest of safety and the avoidance of fire hazard.
- 3 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.
REASON:
In the interest of health.
- 4 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council and shall have regard to the following :
 - (a) Applicant to ensure full and complete separation of foul and surface water systems.
 - (b) No building within 5m of public sewer or sewer with potential to be taken in charge.
 - (c) All surface water runoff from truck parking/ marshalling areas shall be routed via a petrol/oil/ diesel interceptor before discharging to the public sewer.
 - (d) Applicant to submit details of proposed watermain layout including watermain size, valve, meter and hydrant layout, and proposed point of connection to

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existing watermain. Layout to be in accordance with
Part B of 1997 Building Regulations.

- (e) All watermains greater than 150mm diameter shall be ductile iron.
- (f) No part of the perimeter shall be further than 60m from a fire hydrant.
- (g) Watermains shall be laid in public open space.
- (h) No building shall lie within 5m of watermains less than 225mm diameter and within 8m of watermains greater than 225mm diameter.
- (i) All connections, swabbing, chlorination and tappings of mains to be carried out by South Dublin County Council personnel at applicants prior expense.
- (j) 24 hour storage per unit shall be provided.

REASON:

In order to comply with the Sanitary Services Acts, 1878 - 1964.

- 5 That off-street car parking facilities and parking for trucks be provided in accordance with the Development Plan Standards.

REASON:

In the interest of the proper planning and development of the area.

- 6 That the area between the building and roads must not be used for truck parking or other storage or display purposes, but must be reserved for car parking and landscaping as shown on lodged plans.

REASON:

In the interest of the proper planning and development of the area.

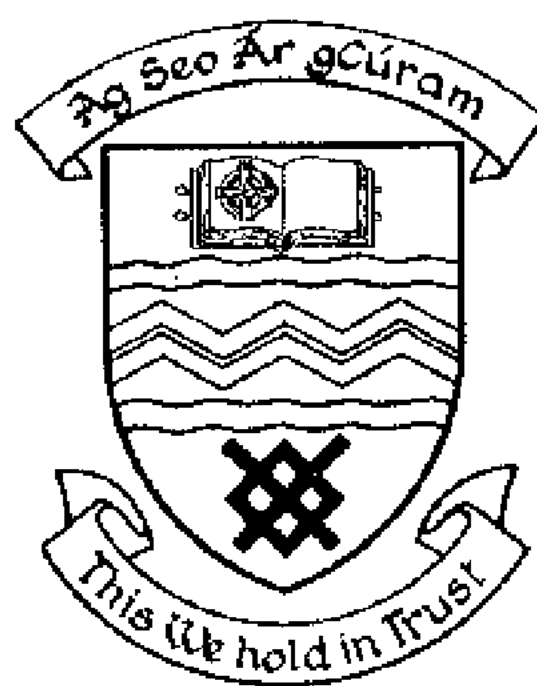
- 7 That details of landscaping and boundary treatment be submitted to and approved by the Planning Authority and work thereon completed prior to occupation of building.

REASON:

In the interest of amenity.

- 8 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanala on appeal.

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REASON:

In the interest of the proper planning and development of the area.

- 9 All car parking areas to be properly laid and marked out using a thermoplastic material and shall be retained for off street car parking purposes to serve the premises.

REASON:

In the interest of the proper planning and development of the area.

- 10 That a financial contribution in the sum of £7,532 (seven thousand, five hundred and thirty two pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 11 That a financial contribution in the sum of money equivalent to the value of £7,200 (seven thousand two hundred) as on 1st January, 1991, updated in accordance with the Wholesale Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

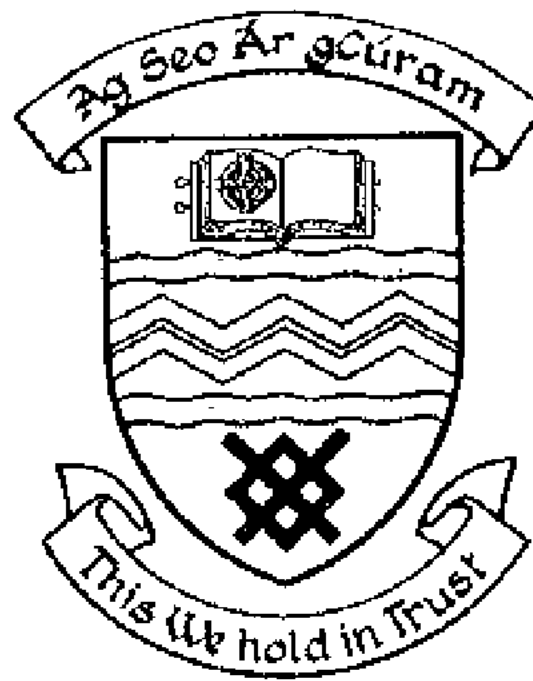
REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

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- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1991 amended 1994.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....
for SENIOR ADMINISTRATIVE OFFICER

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 2080	Date of Decision 14/10/98
Register Reference S98A/0519	Date 23rd July 1998

Applicant Atley Holdings Limited,
App. Type Permission
Development A new 3 storey office building approximately 900 sq.m. in
area and associated site works.

Location Killeen Road, Dublin 12.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 16/11/98

Yours faithfully

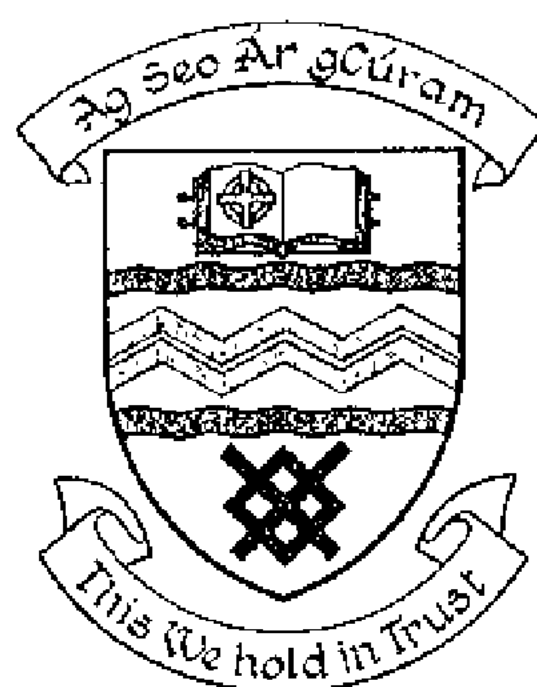
..... 14/10/98
for SENIOR ADMINISTRATIVE OFFICER

John Neil Partnership,
60 Amiens Street,
Dublin 1.

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1892	Date of Decision 21/09/98
Register Reference S98A/0519	Date 23rd July 1998

Applicant Atley Holdings Limited,
App. Type Permission
Development A new 3 storey office building approximately 900 sq.m. in
area and associated site works.

Location Killeen Road, Dublin 12.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 16/10/98

Yours faithfully

..... 21/09/98
for SENIOR ADMINISTRATIVE OFFICER

John Neil Partnership,
60 Amiens Street,
Dublin 1.

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S98A/0519	
1. Location	Killeen Road, Dublin 12.		
2. Development	A new 3 storey office building approximately 900 sq.m. in area and associated site works.		
3. Date of Application	23/07/98	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: John Neil Partnership, Address: 60 Amiens Street, Dublin 1.		
5. Applicant	Name: Atley Holdings Limited, Address: City Quay House, City Quay, Dublin 2.		
6. Decision	O.C.M. No. 2375 Date 25/11/98	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. Date	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement	Compensation	Purchase Notice	
0	0	0	
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar Date Receipt No.	

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Decision Order Number 2375	Date of Decision 25/11/98
Register Reference S98A/0519	Date 23rd July 1998

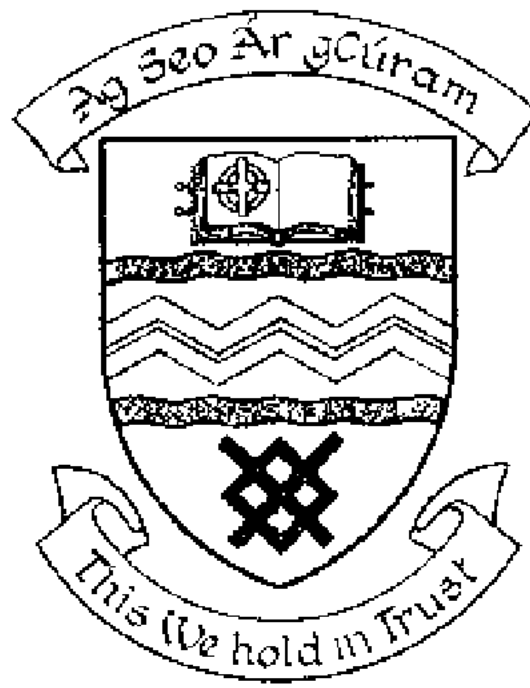
In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order dated as above make a **DECISION TO GRANT PERMISSION** in respect of the above proposal.

Subject to the conditions (11) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

..... 25/11/98
for SENIOR ADMINISTRATIVE OFFICER

Page 1 of 5

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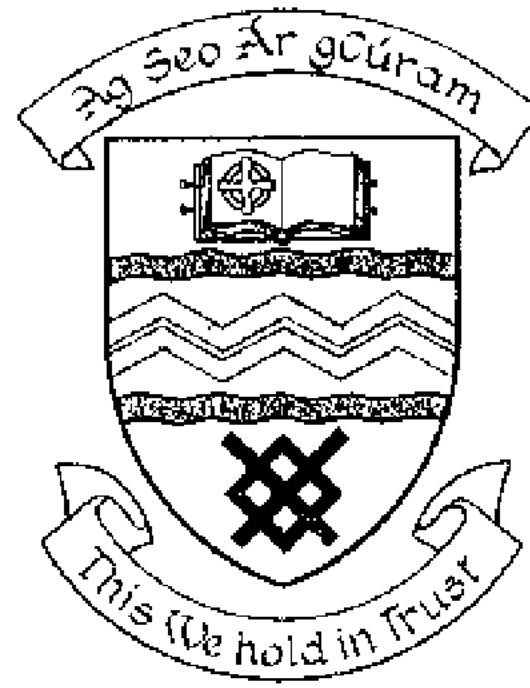
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REG REF. S98A/0519

Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by the revised plans and details submitted by way of unsolicited additional information and received by the Planning Authority on 27.10.1998, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.
REASON:
In the interest of safety and the avoidance of fire hazard.
- 3 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.
REASON:
In the interest of health.
- 4 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council and shall have regard to the following :
 - (a) Applicant to ensure full and complete separation of foul and surface water systems.
 - (b) No building within 5m of public sewer or sewer with potential to be taken in charge.

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REG. REF. S98A/0519

- (c) All surface water runoff from truck parking/ marshalling areas shall be routed via a petrol/oil/ diesel interceptor before discharging to the public sewer.
- (d) Applicant to submit details of proposed watermain layout including watermain size, valve, meter and hydrant layout, and proposed point of connection to existing watermain. Layout to be in accordance with Part B of 1997 Building Regulations.
- (e) All watermains greater than 150mm diameter shall be ductile iron.
- (f) No part of the perimeter shall be further than 60m from a fire hydrant.
- (g) Watermains shall be laid in public open space.
- (h) No building shall lie within 5m of watermains less than 225mm diameter and within 8m of watermains greater than 225mm diameter.
- (i) All connections, swabbing, chlorination and tappings of mains to be carried out by South Dublin County Council personnel at applicants prior expense.
- (j) 24 hour storage per unit shall be provided.

REASON:

In order to comply with the Sanitary Services Acts, 1878 - 1964.

- 5 That off-street car parking facilities and parking for trucks be provided in accordance with the Development Plan Standards.

REASON:

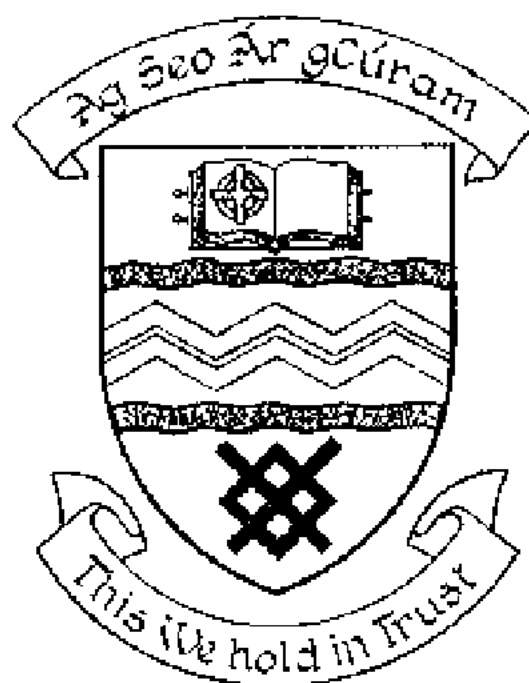
In the interest of the proper planning and development of the area.

- 6 That the area between the building and roads must not be used for truck parking or other storage or display purposes, but must be reserved for car parking and landscaping as

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REG REF. S98A/0519

shown on lodged plans.

REASON:

In the interest of the proper planning and development of the area.

- 7 That details of landscaping and boundary treatment be submitted to and approved by the Planning Authority and work thereon completed prior to occupation of building.

REASON:

In the interest of amenity.

- 8 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.

REASON:

In the interest of the proper planning and development of the area.

- 9 All car parking areas to be properly laid and marked out using a thermoplastic material and shall be retained for off street car parking purposes to serve the premises.

REASON:

In the interest of the proper planning and development of the area.

- 10 That a financial contribution in the sum of £7,532 (seven thousand, five hundred and thirty two pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 11 That a financial contribution in the sum of money equivalent to the value of £7,200 (seven thousand two hundred) as on 1st January, 1991, updated in accordance with the Wholesale

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REG. REF. S98A/0519

Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 2257	Date of Decision 12/11/98
Register Reference S98A/0519	Date 23rd July 1998

Applicant Atley Holdings Limited,
App. Type Permission
Development A new 3 storey office building approximately 900 sq.m. in
area and associated site works.
Location Killeen Road, Dublin 12.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 27/11/98

Yours faithfully

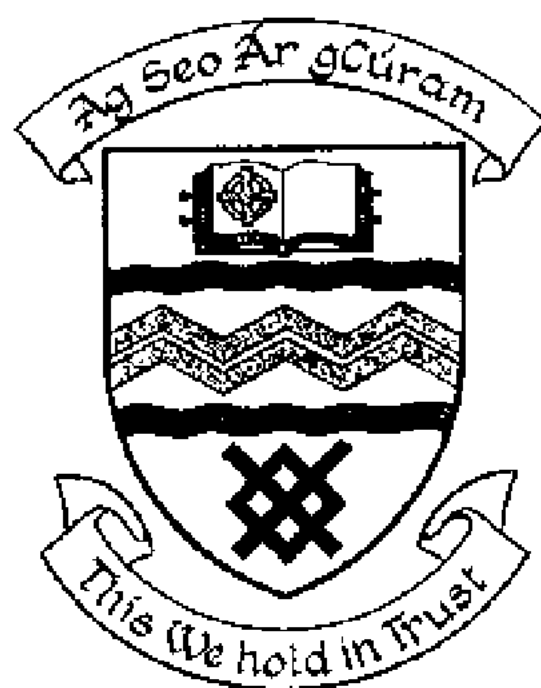
LA
..... 12/11/98
for SENIOR ADMINISTRATIVE OFFICER

John Neil Partnership,
60 Amiens Street,
Dublin 1.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1892	Date of Decision 21/09/98
Register Reference S98A/0519	Date 23rd July 1998

Applicant Atley Holdings Limited,
App. Type Permission
Development A new 3 storey office building approximately 900 sq.m. in
area and associated site works.

Location Killeen Road, Dublin 12.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 16/10/98

Yours faithfully

..... 21/09/98
for SENIOR ADMINISTRATIVE OFFICER

John Neil Partnership,
60 Amiens Street,
Dublin 1.

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S98A/0519/C1	
1. Location	Killeen Road, Dublin 12.		
2. Development	A new 3 storey office building approximately 900 sq.m. in area and associated site works. Compliance re Condition numbers 4c and 7		
3. Date of Application	28/03/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Compliance with Conditions	1. 2.	1. 2.
4. Submitted by	Name: John Neil Partnership, Address: 60 Amiens Street, Dublin 1.		
5. Applicant	Name: Atley Holdings Limited, Address: City Quay House, City Quay, Dublin 2.		
6. Decision	O.C.M. No. 1555 Date 14/07/2000	Effect CC APPROVE THE COMPLIANCE SUBMISSION	
7. Grant	O.C.M. No. Date	Effect CC APPROVE THE COMPLIANCE SUBMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal
14. Registrar Date Receipt No.	

REG. REF. : S98A/0519/C1

DATE : 17.07.2000

RE: A new 3 storey office building approximately 900sq.m. in area and associated site works at Killeen Road, Dublin 12 for Atley Holdings Limited. Compliance re. Condition No's. 4© and 7.

Dear Sir,

I refer to your submission received on 28.03.2000 to comply with Condition No's. 4© and 7 of grant of permission, Order No. 0064, dated 13.01.1999, in connection with the above.

In this regard I wish to inform you that the information submitted in response to Condition No. 4© is considered acceptable to the Planning Authority.

The information submitted in respect of Condition No. 7 is considered acceptable.

Yours faithfully,

PH

for Senior Administrative Officer

John Neil Partnership,
60 Amiens Street,
Dublin 1.