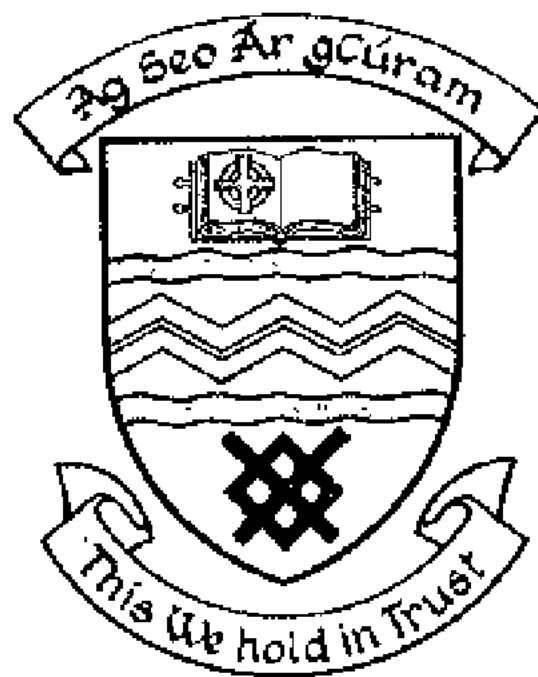


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No.  S98A/0524	
1. Location	120 Castle View Road, Clondalkin, Dublin 22.		
2. Development	2 storey house to side.		
3. Date of Application	27/07/98	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 17/08/98 2.	1. 01/09/98 2.
4. Submitted by	Name: Colm McLoughlin Architect, Address: 12a Main Street, Lucan,		
5. Applicant	Name: Irven Guy, Address: 120 Castle View Road, Clondalkin, Dublin 22.		
6. Decision	O.C.M. No. 2190  Date 29/10/98	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 2524  Date 15/12/98	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. .... Registrar	..... Date	..... Receipt No.	

SOUTH DUBLIN COUNTY COUNCIL  
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



Bosca 4122  
Lár an Bhaile, Tamhlacht  
Baile Átha Cliath 24

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**PLANNING  
DEPARTMENT**

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Town Centre, Tallaght  
Dublin 24

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Colm McLoughlin Architect,  
12a Main Street,  
Lucan,  
Co. Dublin.

**NOTIFICATION OF GRANT OF Permission**

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

Final Grant Order Number 2524	Date of Final Grant 15/12/98
Decision Order Number 2190	Date of Decision 29/10/98
Register Reference S98A/0524	Date 1st September 1998

**Applicant** Irven Guy,

**Development** 2 storey house to side.

**Location** 120 Castle View Road, Clondalkin, Dublin 22.

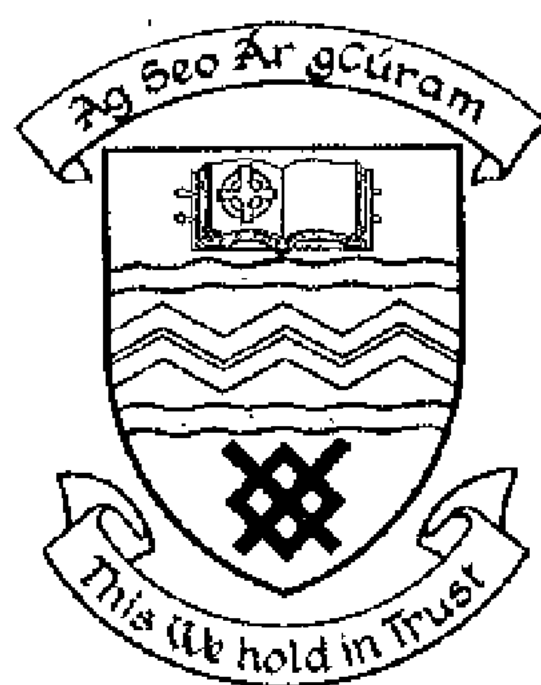
**Floor Area** 960.000 Sq Metres

**Time extension(s)** up to and including

**Additional Information Requested/Received** 17/08/98 /01/09/98

A Permission has been granted for the development described above,  
subject to the following (11) conditions.

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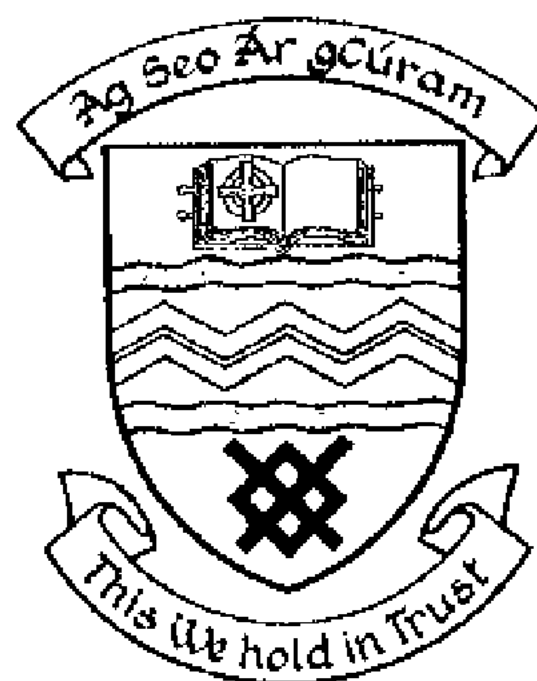
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**Conditions and Reasons**

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.  
REASON:  
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That each proposed house be used as a single dwelling unit.  
REASON:  
To prevent unauthorised development.
- 3 That a financial contribution in the sum of £750 (seven hundred and fifty pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.  
REASON:  
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 4 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council.  
REASON:  
In order to comply with the Sanitary Services Acts, 1878 - 1964.
- 5 That the side boundary wall shall be retained and in the event of damage during construction shall be repaired and restored to its original form.  
REASON:  
In the interest of the proper planning and development of the area.
- 6 That a financial contribution in the sum of money equivalent to the value of £800 (eight hundred pounds) as on 1st January, 1991, updated in accordance with the Wholesale

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Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 7 That there shall be a minimum separation distance between the gable wall and the side boundary wall facing onto the road of two metres.

**REASON:**

In order that the proposed development complies with the requirements of the Roads Department.

- 8 That the external finishes, to include the proposed roof tile shall match and harmonise with that of the existing dwelling in texture and colour.

**REASON:**

In the interest of visual amenity.

- 9 That the following requirements of the Environmental Services Department shall be strictly adhered to in the Development:-

- a) There shall be full and complete separation of the foul and surface water drainage systems. No surface water shall be discharged to the foul drainage system.
- b) The foundations of the proposed dwelling shall be extended below the level of the public sewer.

**REASON:**

In order that the proposed development shall be in accordance with the requirements of the Environmental Services Department.

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- 10 That a financial contribution in the sum of £1,000 (one thousand pounds) be paid by the proposer to South Dublin County Council towards the cost of the provision and development of Class 1 public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the provision and development of amenity lands in the area which will facilitate the proposed development.

- 11 That an acceptable house number be submitted to and approved by the South Dublin County Council before any constructional work takes place on the proposed house.

**REASON:**

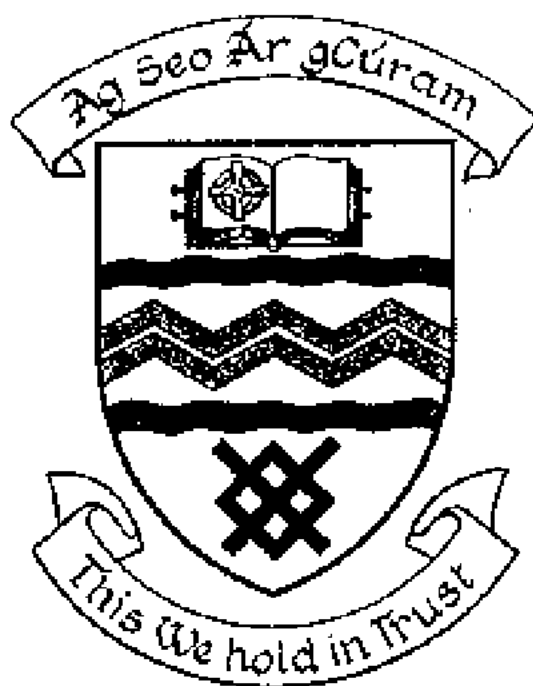
In the interest of the proper planning and development of the area.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1991 amended 1994.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....*[Signature]*..... 16: December 1998  
for SENIOR ADMINISTRATIVE OFFICER

**SOUTH DUBLIN COUNTY COUNCIL  
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**NOTIFICATION OF DECISION TO GRANT PERMISSION  
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

Decision Order Number 2190	Date of Decision 29/10/98
Register Reference S98A/0524	Date 27th July 1998

**Applicant** Irven Guy,

**Development** 2 storey house to side.

**Location** 120 Castle View Road, Clondalkin, Dublin 22.

**Floor Area** Sq Metres

**Time extension(s)** up to and including

**Additional Information Requested/Received** 17/08/98 /01/09/98

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a **DECISION TO GRANT PERMISSION** in respect of the above proposal.

Subject to the conditions ( 11 ) on the attached Numbered Pages.  
signed on behalf of the South Dublin County Council.

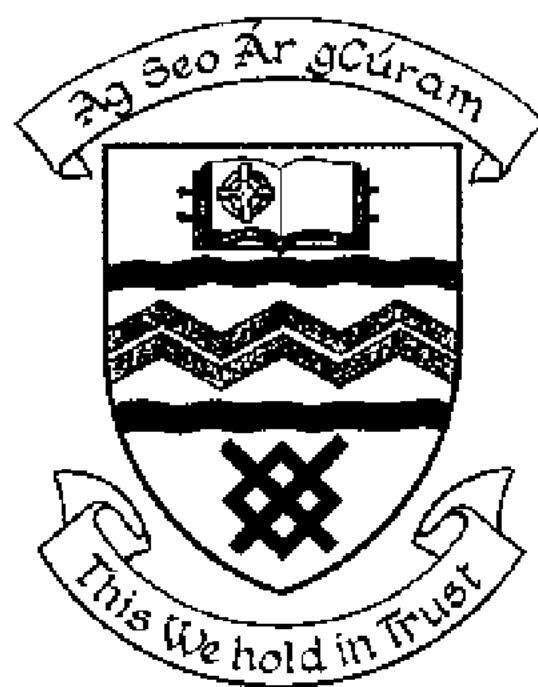
*LA*  
..... 30/10/98  
for SENIOR ADMINISTRATIVE OFFICER

Colm McLoughlin Architect,  
12a Main Street,  
Lucan,  
Co. Dublin.

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REG REF. S98A/0524

**Conditions and Reasons**

- 1     The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.  
REASON:  
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2     That each proposed house be used as a single dwelling unit.  
REASON:  
To prevent unauthorised development.
- 3     That a financial contribution in the sum of £750 (seven hundred and fifty pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.  
REASON:  
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 4     That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council.  
REASON:  
In order to comply with the Sanitary Services Acts, 1878 - 1964.
- 5     That the side boundary wall shall be retained and in the event of damage during construction shall be repaired and restored to its original form.  
REASON:

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REG. REF. S98A/0524

In the interest of the proper planning and development of the area.

- 6 That a financial contribution in the sum of money equivalent to the value of £800 (eight hundred pounds) as on 1st January, 1991, updated in accordance with the Wholesale Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 7 That there shall be a minimum separation distance between the gable wall and the side boundary wall facing onto the road of two metres.

REASON:

In order that the proposed development complies with the requirements of the Roads Department.

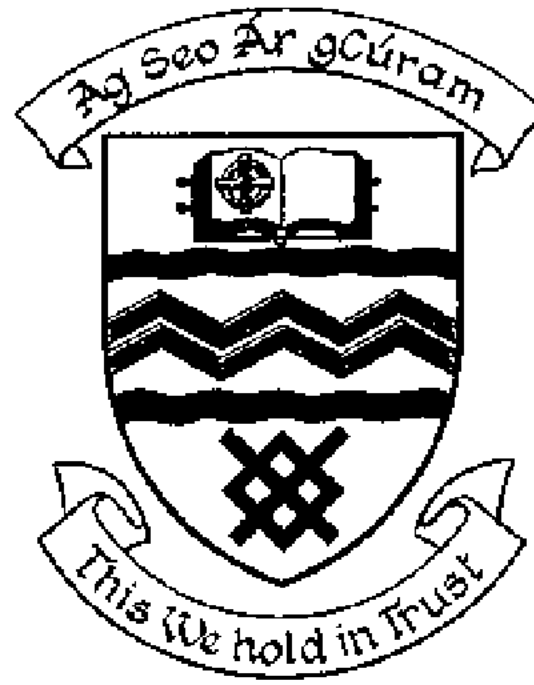
- 8 That the external finishes, to include the proposed roof tile shall match and harmonise with that of the existing dwelling in texture and colour.

REASON:

In the interest of visual amenity.



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9 That the following requirements of the Environmental Services Department shall be strictly adhered to in the Development:-

- a) There shall be full and complete separation of the foul and surface water drainage systems. No surface water shall be discharged to the foul drainage system.
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**REASON:**

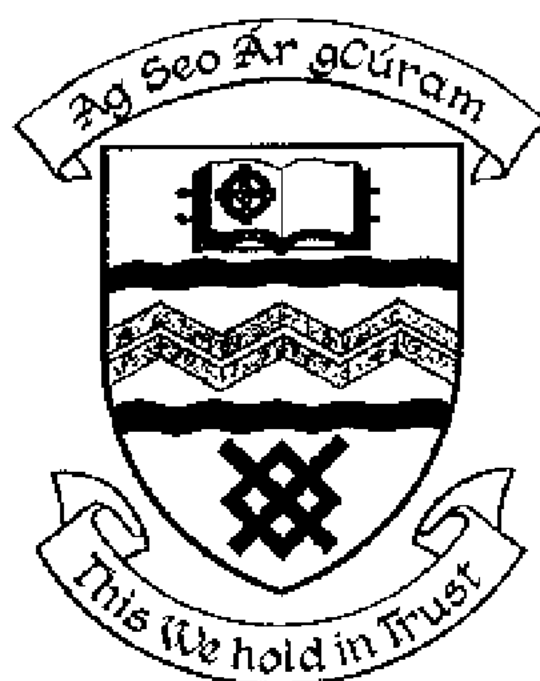
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the provision and development of amenity lands in the area which will facilitate the proposed development.

11 That an acceptable house number be submitted to and approved by the South Dublin County Council before any constructional work takes place on the proposed house.

**REASON:**

In the interest of the proper planning and development of the area.

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**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

<b>Order Number 1622</b>	<b>Date of Order 17/08/98</b>
<b>Register Reference S98A/0524</b>	<b>Date 27th July 1998</b>

**Applicant** Irven Guy,

**Development** 2 storey house to side.

**Location** 120 Castle View Road, Clondalkin, Dublin 22.

Dear Sir/Madam,

An inspection carried out on 11/08/98 has shown that the site notice erected in respect of your planning application does not comply with the requirements of the Local Government (Planning and Development) Regulations, 1994 as the notice is not legible from the public road. Before this application can be considered, you must erect a new notice on the site or structure, and submit the following to this Department:

- (a) two copies of the text of the notice
- (b) two plans showing the position of the notice on the land or structure
- (c) a statement of the date on which the notice is erected

The notice must be maintained in position for at least one month and must fulfill the following conditions:-

1. Must be durable material
2. Must be securely erected in a conspicuous position easily visible and legible by persons using the public road
3. Must be headed "Application to Planning Authority".
4. Must state:

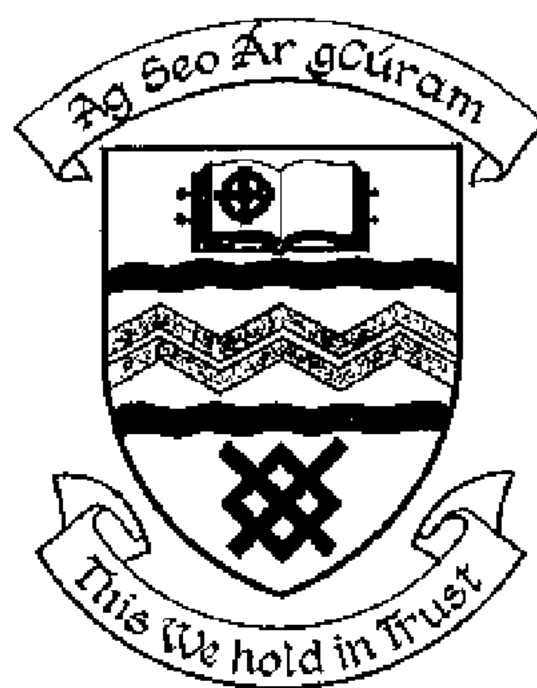
- (a) Applicant's name

Colm McLoughlin Architect,  
12a Main Street,  
Lucan,  
Co. Dublin.

**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

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REG REF. S98A/0524

- (b) whether application is for Permission, Outline Permission, or Approval.
- (c) nature and extent of development including number of dwellings (if any)
- (d) that the application may be inspected at the Planning Department, South Dublin County Council, Town Centre, Tallaght, Dublin 24.

No further consideration will be given to this application until you comply with these requirements.

Yours faithfully,

.....  
for Senior Administrative Officer.

17/08/98