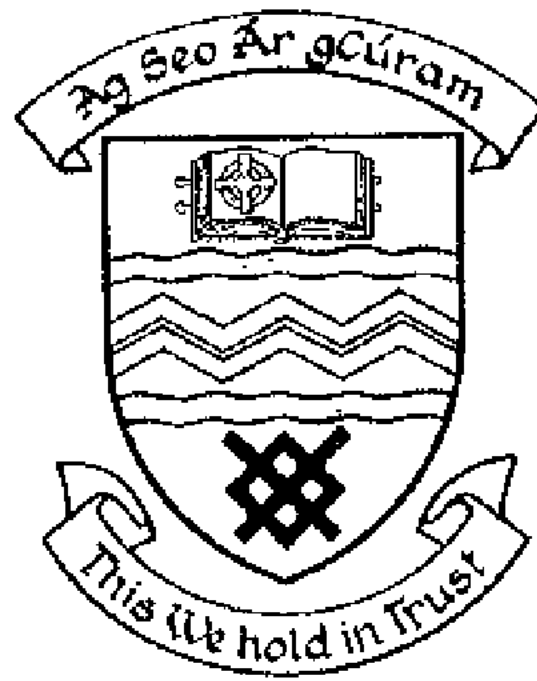


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S98A/0525
1. Location	Lands adjoining Lucan Newlands Road and Archbishop Ryan National School at Balgaddy/Lucan South, Co. Dublin.	
2. Development	50m Swimming Pool and ancillary leisure facilities to include 25m leisure pool. 5 no. multi-purpose gyms, changing facilities, administrative office, cafe, creche, retail space, press facilities, storage areas, plant areas (at basement, ground and first floor levels, carparking, coachparking, overflow parking hard standing area and new site entrance from Lucan Newlands Road.	
3. Date of Application	27/07/98	Date Further Particulars (a) Requested (b) Received
3a. Type of Application	Permission	1. 2.
4. Submitted by	Name: Pierce & O'Connor Architects, Address: Basement Office, 79 Eccles Street,	
5. Applicant	Name: Stewarts Hospital, Address: Palmerstown, Dublin 20.	
6. Decision	O.C.M. No. 1836 Date 14/09/98	Effect AP GRANT PERMISSION
7. Grant	O.C.M. No. 2186 Date 29/10/98	Effect AP GRANT PERMISSION
8. Appeal Notified		
9. Appeal Decision		

10. Material Contravention		
11. Enforcement	Compensation	Purchase Notice
12. Revocation or Amendment		
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14. Registrar Date Receipt No.

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Pierce & O'Connor Architects,
Basement Office,
79 Eccles Street,
Dublin 7.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 2186	Date of Final Grant 29/10/98
Decision Order Number 1836	Date of Decision 14/09/98
Register Reference S98A/0525	Date 27th July 1998

Applicant Stewarts Hospital,

Development 50m Swimming Pool and ancillary leisure facilities to include 25m leisure pool. 5 no. multi-purpose gyms, changing facilities, administrative office, cafe, creche, retail space, press facilities, storage areas, plant areas (at basement, ground and first floor levels, carparking, coachparking, overflow parking hard standing area and new site entrance from Lucan Newlands Road.

Location Lands adjoining Lucan Newlands Road and Archbishop Ryan National School at Balgaddy/Lucan South, Co. Dublin.

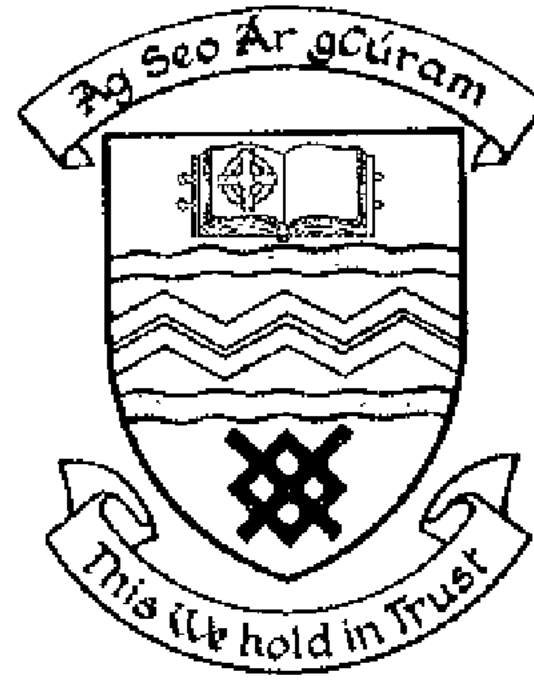
Floor Area 9780.000 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received /

A Permission has been granted for the development described above,
subject to the following (28) conditions.

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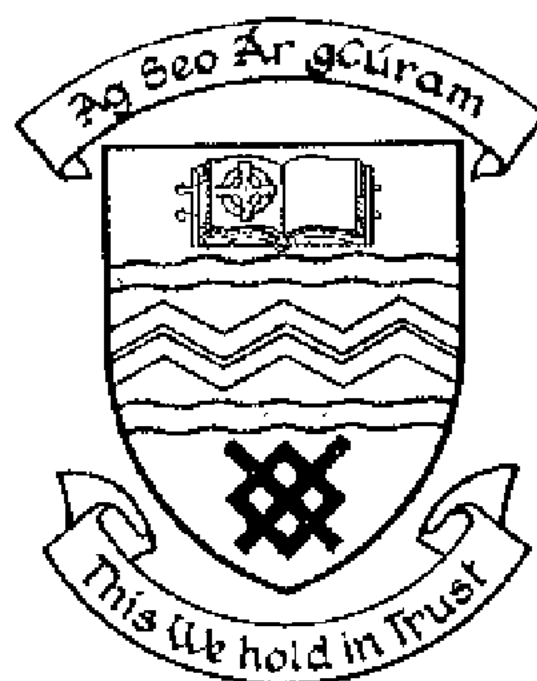
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.
REASON:
In the interest of health.
- 3 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council.
REASON:
In order to comply with the Sanitary Services Acts, 1878 - 1964.
- 4 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.
REASON:
In the interest of the proper planning and development of the area.
- 5 That prior to the commencement of the development the applicant shall submit for agreement with the Planning Authority a detailed landscaping plan and planting scheme for the entire site and the site boundaries to include details as to species and as to the materials to be used for hardsurfacing. The hardsurfacing works shall be fully completed prior to the occupation of the development and the planting scheme shall be fully implemented and completed within one calendar year of the occupation of the development. The applicant shall consult with the Parks Department prior to submission.
REASON:
In the interest of amenity and the proper planning and development of the area.

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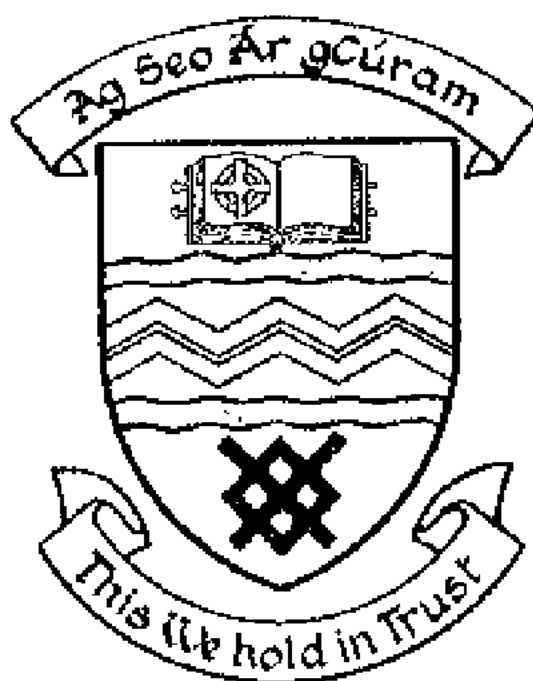
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- 6 That prior to the commencement of the development the applicant shall submit full details, to include elevation drawings of the proposed boundary treatment and entrances for the site. Palisade fencing is unacceptable.
REASON:
In the interest of visual amenity.
- 7 Adequate provision is to be made to facilitate access to and the use of the development, buildings, facilities and services by disabled persons. The minimum requirements to be provided shall be as set out in "Access for the Disabled - Minimum Design Criteria" published by the National Rehabilitation Board.
REASON:
In the interest of safety and amenity.
- 8 That prior to the commencement of the development the applicant shall submit for agreement with the Planning Authority full details as to the numbers of children to be accommodated concurrently within the creche. In this regard a minimum of 2.32sq.m. floor space, exclusive of furniture fittings and ancillary accommodation shall be provided for 3-6 year olds. Younger children require a greater floor area per capita. The applicant is advised to consult with the Environmental Health Officer prior to submission.
REASON:
In order the facilities are in accordance with the standards set out in the Childcare Regulations, 1996 and in the interests of the proper planning and development of the area.
- 9 That full details of external lighting for the site shall be submitted to the Planning Authority for agreement prior to the commencement of the development. Night Lighting for the pitches, if required shall be not erected without a prior grant of planning permission from the County Council or An Bord Pleanála on appeal.
REASON:
In the interest of the protection of the amenity of the surrounding residential area.
- 10 That the following requirements shall be provided for and adhered to in the development.

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- No heavy construction equipment/machinery (to include pneumatic drills, construction vehicles, generators, etc.) shall be operated on or adjacent to the construction site before 8.00hr. on Weekdays and 9.00hr. on Saturdays nor after 18.00hr. on weekdays and 13.00hr on Saturdays, nor at any time on Sundays, Bank Holidays or Public Holidays.
- Noise due to the normal operation of the proposed development, expressed as Laeq over 1 hour at the facade of a noise sensitive location, shall not exceed the daytime background level by more than 10dB(A).
- Noise due to the normal operation of the proposed development, expressed as Laeq over 15 minutes in a noise sensitive location, shall not exceed the background level for night time.
- Clearly audible tones and impulsive noise at sensitive locations during evening and night shall be avoided irrespective of the noise level.
- All mechanical plant ventilation inlets and outlets should be sound insulated and/or fitted with sound attenuators as necessary to ensure that the noise level as expressed as Laeq over 15 minutes at 1 meter from the facade of any noise sensitive location does not exceed the background level by more than 10dB(A) for daytime and shall not exceed that background level for evening and night time.

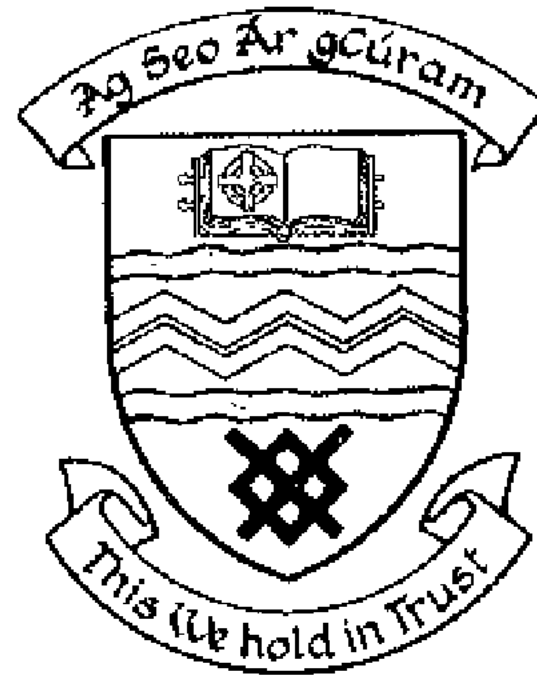
REASON:

In the interest of amenity and public health.

NOTE: A noise sensitive location is any dwellinghouse, hotel or hostel, health building, educational establishment when in use, places of workshop during recognised times and days of workshop places of entertainment which for their proper enjoyment require the absence of noise at nuisance levels, or any other facility or area of high amenity which for its proper enjoyment requires the absence of noise at nuisance levels.

Daytime: 08:00 - 18:00hrs.
Evening: 18:00 - 22:00hrs.
Night time: 22:00 - 08.00hrs.

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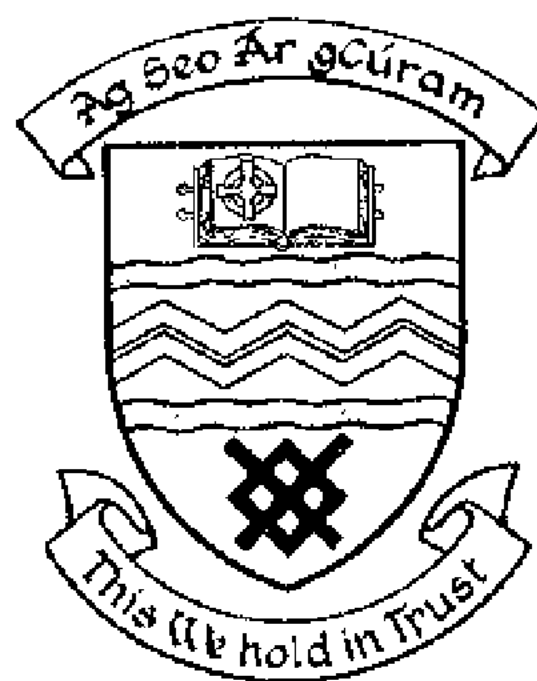
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- 11 That prior to the commencement of the development the applicant shall submit for agreement with the Planning Authority a full plan and a schedule of the proposed arrangements for retractable public seating to include number and location of seats and details as to how the public shall access same within the building.
REASON:
In the interest of the proper planning and development of the area.
- 12 That the existing southern access to the off Lynch's Lane shall be made available as a public access on a permanent basis to serve the development. Prior to the commencement of the development the applicant shall submit alignment and cross section design for the access road at this location and shall carry out the works necessitated to the requirements of the Roads Department at the applicant's own expense.
REASON:
In the interest of the proper planning and development of the area.
- 13 The secure cycle parking facilities shall be provided for on site in accordance with the requirements of the Roads Department which shall be ascertained prior to the commencement of the development and made available prior to the occupation of the development.
REASON:
In the interest of the proper planning and development of the area.
- 14 That the following requirements of the Environmental Services Department with regard to the foul drainage arrangements shall be provided for and adhered to in the development:-
 - No building shall be located within five metres in distance from a public sewer or any sewer with potential to be taken in charge

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- Full and complete separation of the foul and surface water systems shall be ensured at all times;
- All waste water from the kitchen and catering facilities shall be routed via an appropriate grease trap or grease removal system before discharge to the public sewer;
- No discharge of trade effluent shall be permitted to the sewer without a licence granted under the Water Pollution Acts, 1977 - 1990.

REASON:

So that the development is in accordance with the requirements of the Environmental Services Department.

- 15 That prior to the commencement of the development the applicant shall obtain the agreement of the County Council as to the details of the refinements for the Filter Backwash system.

REASON:

So that it can be ensured that surcharging of the public sewers shall not occur.

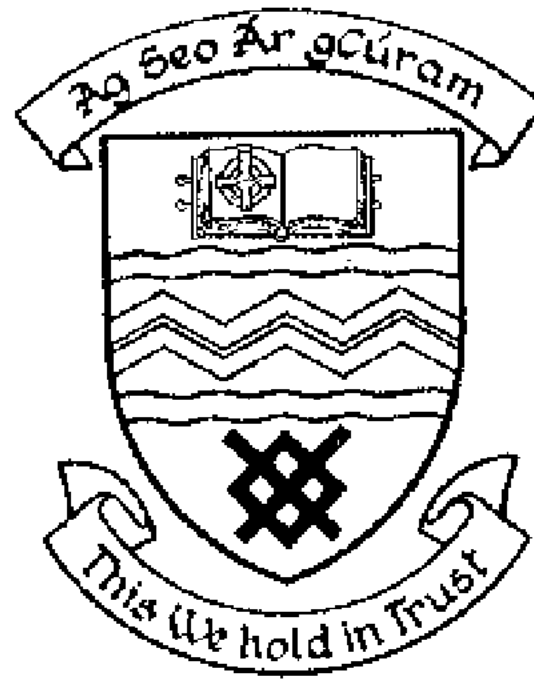
- 16 That prior to the commencement of the development the applicant shall submit for agreement with the County Council, full details of the proposed arrangements for surface water disposal for the development. In this regard the applicant shall provide for and adhere to the following in relation to the proposed surface water drainage arrangements for the development:-

- No building shall be located within five metres in distance from a public sewer or any sewer with potential to be taken in charge;
- Full and complete separation of the foul and surface water systems shall be ensured at all times.

REASON:

So that the development is in accordance with the requirements of the Environmental Services Department.

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- 17 That the following requirements of the Environmental Services Department shall be provided for and adhered to in the development:-

- All watermains greater than 150mm in diameter shall be constructed in ductile iron;
- All watermains shall be laid in public open space to ensure accessibility for maintenance and repair works;
- No building shall be located within five metres distance of watermains less than 225mm in diameter or within 8 metres distance of watermains greater than 225mm in diameter.

REASON:

So that the development is in accordance with the requirements of the Environmental Service Department.

- 18 That the applicant shall consult with and agree the following details with the County Council prior to the commencement of the development:-

- Maximum rate of draw-off of supply from the public mains;
- Upgrading of public water mains to serve the development if required to include all associated costs which shall be at the applicant's own expense;
- On site water storage arrangements.

REASON:

So as to ensure a security of supply of water for other water supply consumers can be ensured in addition to adequate provision of water for the development.

- 19 That prior to the commencement of the development the applicant shall submit for agreement with the Planning Authority, full details of the external finishes and roof materials to include samples for the building on site. In this regard, mute colours only will be acceptable.

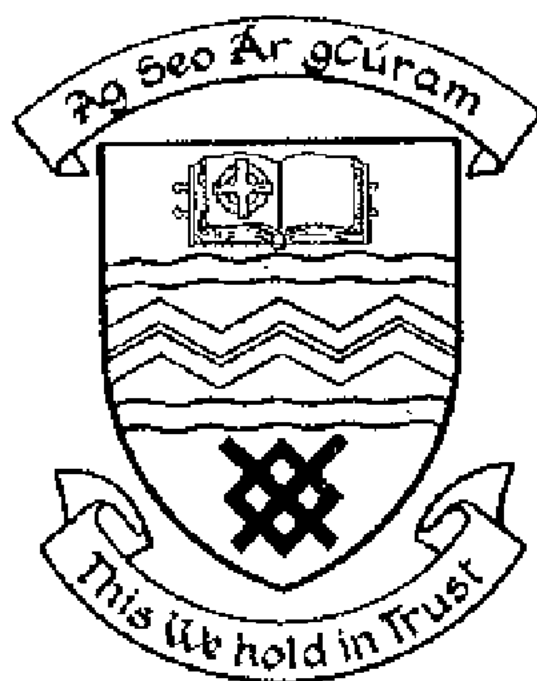
REASON:

In the interest of visual amenity.

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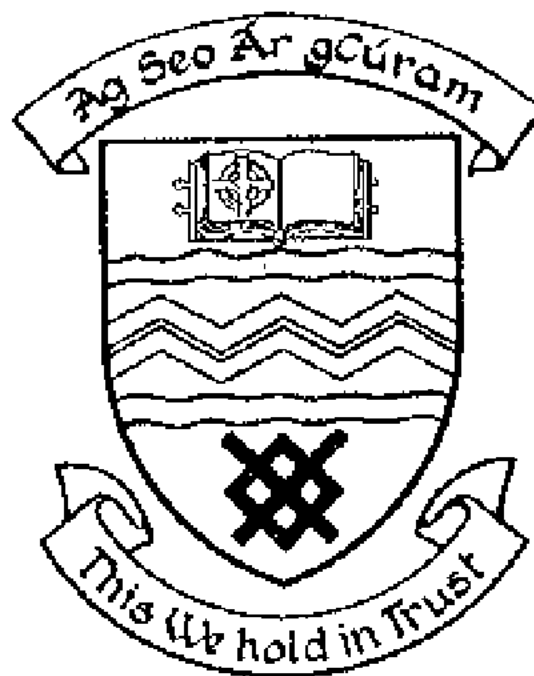
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- 20 That bar facilities shall not be provided for within the development without the prior Approval of the Planning Authority or An Bord Pleanala on appeal.
REASON:
In the interest of residential amenity.
- 21 That no external balconies of verandahs shall be provided for in the development without the prior approval of the Planning Authority or An Bord Pleanala on appeal.
REASON:
In the interest of residential amenity.
- 22 That no flagpoles or bunting shall be erected at the site without the prior approval of the Planning Authority or An Bord Pleanala on appeal.
REASON:
In the interest of residential and visual amenity.
- 23 That a financial contribution in the sum of £57,360 (fifty seven thousand three hundred and sixty pounds) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.
REASON:
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 24 That a financial contribution in the sum of money equivalent to the value of £95,600 (ninety five thousand six hundred pounds) as on 1st January, 1991, updated in accordance with the Wholesale Price Index - Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid

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before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 25 That a financial contribution in the sum of £9,675 (nine thousand six hundred and seventy five pounds) be paid by the proposer to South Dublin County Council towards the cost of the upgrading of Esker Pumping Station; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 26 That a financial contribution in the sum of £47,059 (forty seven thousand and fifty nine pounds) be paid by the proposer to South Dublin County Council towards the cost of the Lucan/Palmerstown Water Supply Improvement Scheme which serves this development; this contribution to be paid before the commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the development should contribute towards the cost of the works.

- 27 That a financial contribution in the sum of £4,837 (four thousand eight hundred and thirty seven pounds) be paid by the proposer to South Dublin County Council towards the cost of remedial works to the Griffeen River which will facilitate this development; this contribution to be paid before the commencement of development on site.

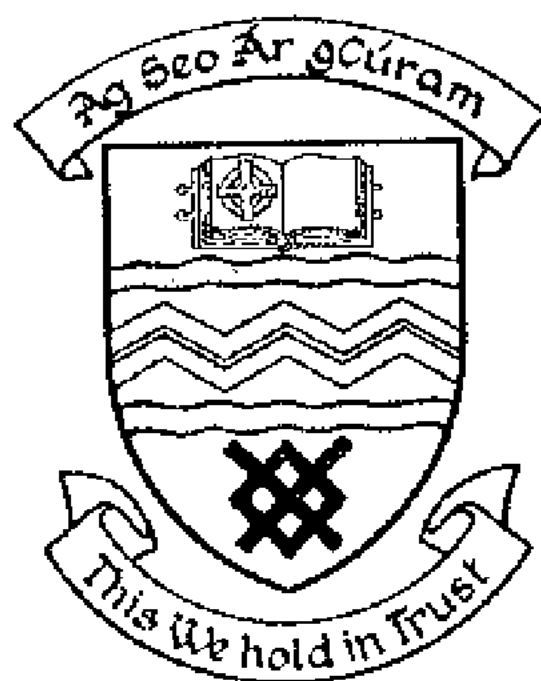
REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered

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reasonable that the developer should contribute towards the cost of the works.

- 28 Before the development is commenced, the developer shall lodge with South Dublin County Council an approved Insurance Company Bond or cash in the sum of £45,000 (forty five thousand pounds) to secure the provision and satisfactory completion of services, kerbs, grass margins and footpaths fronting the site.

REASON:

To ensure that a ready sanction may be available to induce the provision of services and prevent disamenity in the development.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1991 amended 1994.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....October 1998
for SENIOR ADMINISTRATIVE OFFICER